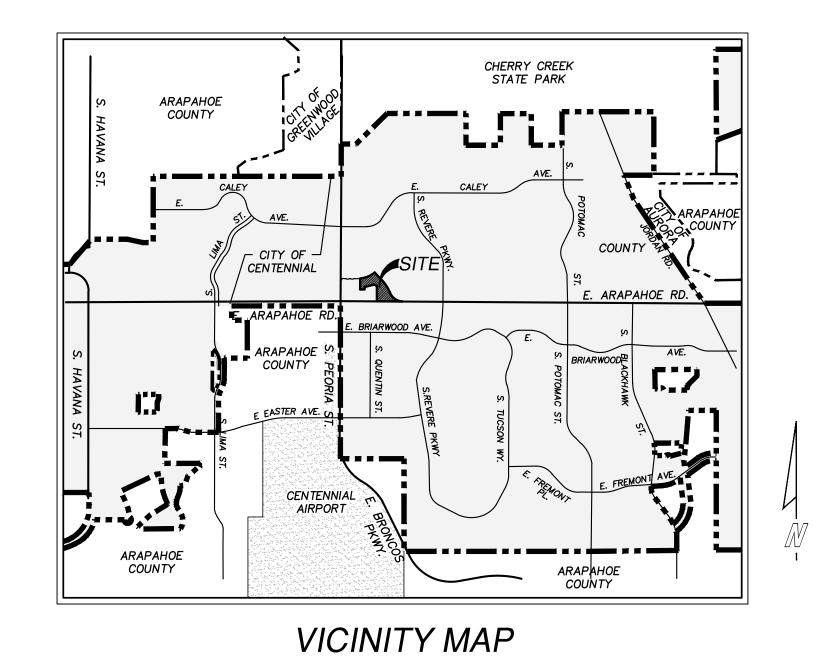
DEVELOPMENT STANDARDS PROPOSED SITE PLAN REQUIRED CASE NO. LU-16-00168 ZONING GENERAL COMMERCIAL (CG) GENERAL COMMERCIAL (CG) PARCEL AREA AND 1.0 ACRE 4.50 ACRES 125 FEET STREET FRONTAGE 868.3 FEET PERMITTED USES REFER TO LAND DEVELOPMENT AUTO BROKER CODE SECTION 12-2-301 AND USE TABLES MAXIMUM BUILDING 30 FEET 50 FEET 55.2 FT FRONT MINIMUM BUILDING INTERIOR 49.7 FT INTERIOR 10 FT SETBACKS STREET SIDE 25 FT STREET SIDE 99.0 FT N/A RESIDENTIAL 50 FT RESIDENTIAL N/A MINIMUM PARKING 25 FT 25.0 FT SETBACKS INTERIOR INTERIOR 1.0 FT STREET SIDE 25 FT STREET SIDE 25.0 FT 25 FT REAR N/A RESIDENTIAL 50 FT RESIDENTIAL OFFICE: FINANCIAL INSTITUTION PARKING RATIOS 69 STANDARD SPACES = (1/250 S.F. FLOOR AREA) = 8,535 S.F./250 S.F. = 35 SPACES2 ADA SPACES <u> 1 VAN ACCESS. SPACES</u> 72 TOTAL SPACES VEHICLE SALES, RENTAL AND SERVICE = 3 SPACES PER SERVICE BAY = 3 X 9 BAYS = TOTAL REQUIRED PARKING 210 SPACES FOR ADA PARKING 3 ADA SPACES PER 51-75 SPACES. 1 VAN ACCESSIBLE SPACE VEHICLE STORAGE PER 6 ADA SPACES = 2 ADA SPACES + 1 VAN ACCESSIBLE SPACE LOADING ZONE OFFICE: FINANCIAL INSTITUTION 2 LOADING ZONES = (1/33,000 S.F. FLOOR AREA) = 8,535 S.F./33,000 S.F. = 1**ZONE** VEHICLE SALES, RENTAL AND SERVICE = 1 SPACES PER BUILDING = 1 X 1 BUILDING = = 2 ZONES TOTAL REQUIRED LOADING ZONES BICYCLE PARKING 1 BICYCLE SPACES PER 15 VEHICLE SPACES = 72/15 = 5 SPACES 5 BICYCLE SPACES ZONE LZ3. MAX. POLE HEIGHT = LARGER OF 25 FEET OR MAXIMUM POLE HEIGHT = 25 FEE1 _IGHTING ZONE/ BUILDING HEIGHT = 30 FEET. MAX. POLE HEIGHT _ANDSCAPE SURFACE 29,403 S.F. 52,194 S.F. RATIO

COLORADO AUTO FINDERS SITE PLAN

LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11 PART OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST, 6TH PRINCIPAL MERIDIAN CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



SCALE: 1"= 2000'

STANDARD NOTES

THE OWNER(S) AND DEVELOPER(S) OF THE SITE PLAN KNOWN AS COLORADO AUTO FINDERS, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

EMERGENCY ACCESS

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS OR OTHER DESIGNATED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES

PUBLIC IMPROVEMENT AGREEMENT

AFTER SITE PLAN APPROVAL, ISSUANCE OF DEVELOPMENT ORDERS OR PERMITS SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 12-14-207 OF THE LAND DEVELOPMENT CODE. AS AMENDED. INCLUDING THE GUARANTEE OF PUBLIC IMPROVEMENTS PURSUANT TO A PUBLIC IMPROVEMENT AGREEMENT IN A FORM APPROVED BY THE CITY ATTORNEY AND EXECUTED BY THE CITY MANAGER OR HIS OR HER DESIGNEE. ALL MORTGAGEES SHALL BE REQUIRED TO SUBORDINATE THEIR LIENS AND INTEREST IN THE PROPERTY TO THE COVENANTS AND THE RESTRICTIONS OF THE PUBLIC IMPROVEMENT AGREEMENT (PER 12-14-207(C)(1) OF THE LAND DEVELOPMENT CODE).

MAINTENANCE GUARANTEE

THE OWNER(S), DEVELOPERS(S) AND/OR SUBDIVIDERS OF THIS PLAN WARRANT AND GUARANTEE TO THE CITY, FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE IMPROVEMENTS WARRANTED HEREUNDER, THE FULL AND COMPLETE MAINTENANCE AND REPAIR OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAN. THIS WARRANTY AND GUARANTEE IS MADE IN ACCORDANCE WITH THE CITY LAND DEVELOPMENT CODE AND THE PUBLIC IMPROVEMENT AGREEMENT RECORDED AGAINST THE PROPERTY. THIS GUARANTEE APPLIES TO THE STREETS AND ALL OTHER APPURTENANT STRUCTURES AND AMENITIES LYING WITHIN THE DEDICATED RIGHTS-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, INCLUDING, WITHOUT LIMITATION, ALL CURBING, SIDEWALKS, BIKE PATHS, DRAINAGE PIPES, CULVERTS, CATCH BASINS, DRAINAGE DITCHES AND LANDSCAPING. ANY MAINTENANCE AND REPAIR REQUIRED ON UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PROVIDER.

THE OWNER(S), DEVELOPER(S), AND/OR SUBDIVIDERS SHALL MAINTAIN SAID IMPROVEMENTS IN A MANNER THAT WILL ASSURE COMPLIANCE ON A CONSISTENT BASIS WITH ALL CONSTRUCTION STANDARDS, SAFETY STANDARDS, AND ENVIRONMENTAL PROTECTION REQUIREMENTS OF THE CITY.

PRIVATE STREET/DRIVES MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE STREETS AND DRIVES SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH THE CITY OF CENTENNIAL ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE CITY. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, EITHER INDIVIDUALLY OR COLLECTIVELY THROUGH A PROPERTY/HOME OWNER'S ASSOCIATION, SHALL BE RESPONSIBLE FOR SUCH PRIVATE STREET MAINTENANCE, OPERATION AND RECONSTRUCTION.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR ENTITY OTHER THAN THE CITY OF CENTENNIAL IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPING AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS IN ACCORDANCE WITH APPROVED LANDSCAPE PLANS.

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN THE CITY OF CENTENNIAL. AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

CASE NUMBER: LU-16-00168

STANDARD NOTES (CONTINUED)

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION, RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. THE CITY OF CENTENNIAL SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED. THE CITY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

DRAINAGE LIABILITY

IT IS THE POLICY OF THE CITY OF CENTENNIAL THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY CIVAS ENGINEERING, LLC. THE CITY OF CENTENNIAL REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 31, ARTICLE 23, BUT CANNOT, ON BEHALF OF COLORADO AUTO FINDERS GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE COLORADO AUTO FINDERS AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF THE CITY OF CENTENNIAL THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF CIVAS ENGINEERING, LLC'S DRAINAGE DESIGN.

AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT AND NOISE DISCLOSURE) (PER 12-3-905(C)(1) of LDC):

CENTENNIAL AIRPORT IS LOCATED 3 MILE TO THE SOUTHWEST OF COLORADO AUTO FINDERS. CENTENNIAL AIRPORT IS A BUSY AIRPORT USED BY PISTON AND JET AIRCRAFT AND BY HELICOPTERS, AND IS OPEN 24 HOURS A DAY, SEVEN DAYS A WEEK. ALL PROPERTY WITHIN COLORADO AUTO FINDERS IS SUBJECT TO THE TERMS OF AN AVIGATION AND HAZARD EASEMENT, RECORDED AT RECEPTION NUMBER 2205654 ON SEPTEMBER 21, 1982 OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER. THE EASEMENT CONSENTS TO OVERFLYING AIRCRAFT, AND PREVENTS PRESENT AND FUTURE OWNERS AND OCCUPANTS OF PROPERTY WITHIN COLORADO AUTO FINDERS FROM OBJECTING TO, OR SEEKING DAMAGES DUE TO, AIRCRAFT OPERATIONS. THE EASEMENT ALSO PREVENTS OWNERS AND OCCUPANTS FROM INSTALLING STRUCTURES, TREES OR OTHER OBJECTS THAT COULD INTERFERE WITH FLIGHT OPERATIONS AT THE AIRPORT.

PUBLIC USE EASEMENT

SPECIFIC NOTES

ALL PUBLIC USE EASEMENTS SHOWN HEREON BURDEN AND RUN WITH ALL LANDS DESCRIBED IN THIS SITE PLAN TO THE BENEFIT OF THE CITY OF CENTENNIAL AND ITS ASSIGNS, ARE BINDING UPON THE OWNERS AND THEIR RESPECTIVE SUCCESSORS, HEIRS AND ASSIGNS, AND ARE GOVERNED BY ANY AND ALL TERMS AND CONDITIONS OF RECORD.

SIGHT TRIANGLE MAINTENANCE (Per Section 12-11-208)

IN ACCORDANCE WITH SECTION 12-11-208 OF THE CITY LAND DEVELOPMENT CODE, THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS BETWEEN A HEIGHT OF THREE FEET (3') AND EIGHT FEET (8') ABOVE THE ELEVATION OF THE STREET CENTERLINE WITHIN SAID SIGHT TRIANGLE.

GENERAL COMMERCIAL (CG)

EXISTING ZONING

LEGAL DESCRIPTION

LOT 2A, BLOCK 1, SOUTHFIELD PARK FILING NO. 11.

- SHEET INDEX COVER SHEET
- **EXISTING CONDITIONS PLAN**
- SITE PLAN
- GRADING AND DRAINAGE PLAN
- UTILITY PLAN
- LANDSCAPE PLANS
- LANDSCAPE PLANS
- LANDSCAPE NOTES AND DETAILS
- IRRIGATION PLAN
- IRRIGATION PLAN
- **IRRIGATION DETAILS** 11
- **BUILDING ELEVATIONS COLOR BUILDING ELEVATIONS**
- 14 PHOTOMETRIC PLAN AND LIGHTING DETAILS.

CERTIFICATE OF OWNERSHIP

OWNER OF RECORD OR AUTHORIZED AGENT

l,	, HEREBY AI	FFIRM THAT I AM	THE OWNER OR A	AUTHORIZED
AGENT OF ALL INDIVIDUALS OR	ENTITIES HA	VING OWNERSHIP	INTEREST IN THE	PROPERTY
DESCRIBED HEREIN, KNOWN AS	S COLORADO	AUTO FINDERS	SITE PLAN (CITY	CASE NO.
LU-16-00168.			•	

	TE OF		} s.s.
	FOREGOING CERTIFICATION DAY OF		IERSHIP WAS ACKNOWLEDGED BEFORE N 2016,
BY .		AS	
			(TITLE)
OF .	(-, , -, -, -)		AN AUTHORIZED SIGNATORY.
	(ENTITY)		
BY.	NOTARY PUBLIC		WITNESS MY HAND AND SEAL
MY	COMMISSION EXPIRES:		
ADD	RESS		
CITY	, STATE AND ZIP CODE		

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT OF THE CITY OF CENTENNIAL THIS _____, 20_____,

DIRECTOR OR DESIGNEE

PLANNING AND ZONING COMMISSION RATIFICATION

							-				
RATIFIFD	RY	THF	CITY	ΟF	CENTENNIAL	PI ANNING	AND	ZONING	COMMISSION,	THIS	D
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OF				, A	.D., 20	•					

CHAIRPERSON		

<u>RECORDER'S CERTIFICATE</u>

ATTEST

THIS PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE	COUNTY CLERK AND RECORDER
OF ARAPAHOE COUNTY AT (A.M./P.M.) THIS	DAY OF
A.D., 2016 IN	
BOOK, PAGE, MAP, RECEP	TION NO

COUNTY C	CLERK	AND	RECORDER

BY:			
 D	EPUTY		

AMENDMENT HISTORY

THE PREVIOUSLY APPROVED AMENDMENTS RELATED TO THE SITE PLAN FOR COLORADO AUTO FINDERS, LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11 ARE AS FOLLOWS:

FEBRUARY 17, 1981 SOUTHFIELD PARK FIRST ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A80-32). THE FRONTAGE ROAD ON ARAPAHOE ROAD WAS CHANGED TO A 60' R.O.W. AND A DRIVEWAY ACCESS FROM ARAPAHOE ROAD WAS APPROVED AT THE LOT LINE BETWEEN LOT 1 AND 2, BLOCK 1.

FEBRUARY 28, 1984 SOUTHFIELD PARK SECOND ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A84-50). THE COMMERCIAL USE FOR LOTS 1 AND 2, BLOCK 1 AND LOTS 1 AND 2, BLOCK 2 WAS CHANGED FROM B-4 USES TO B-3 USES. FEBRUARY 4, 1985 SOUTHFIELD PARK THIRD ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A84-56). THE MAXIMUM DENSITY IN BLOCK 1 AND LOTS 1 AND 2, BLOCK 2 WAS INCREASED TO 101,000 S.F. AND INCREASED THE F.A.R. TO 0.4:1. THE MAXIMUM DENSITY FOR BLOCK 5 WAS DECREASED BY 101,000 S.F. DECREASING THE F.A.R. TO 0.9:1. THE SETBACK FOR LOTS 1 AND 2, BLOCK 2 WAS INCREASED TO 50 FEET FOR ANY BUILDING EXCEEDING 50 FEET IN HEIGHT.

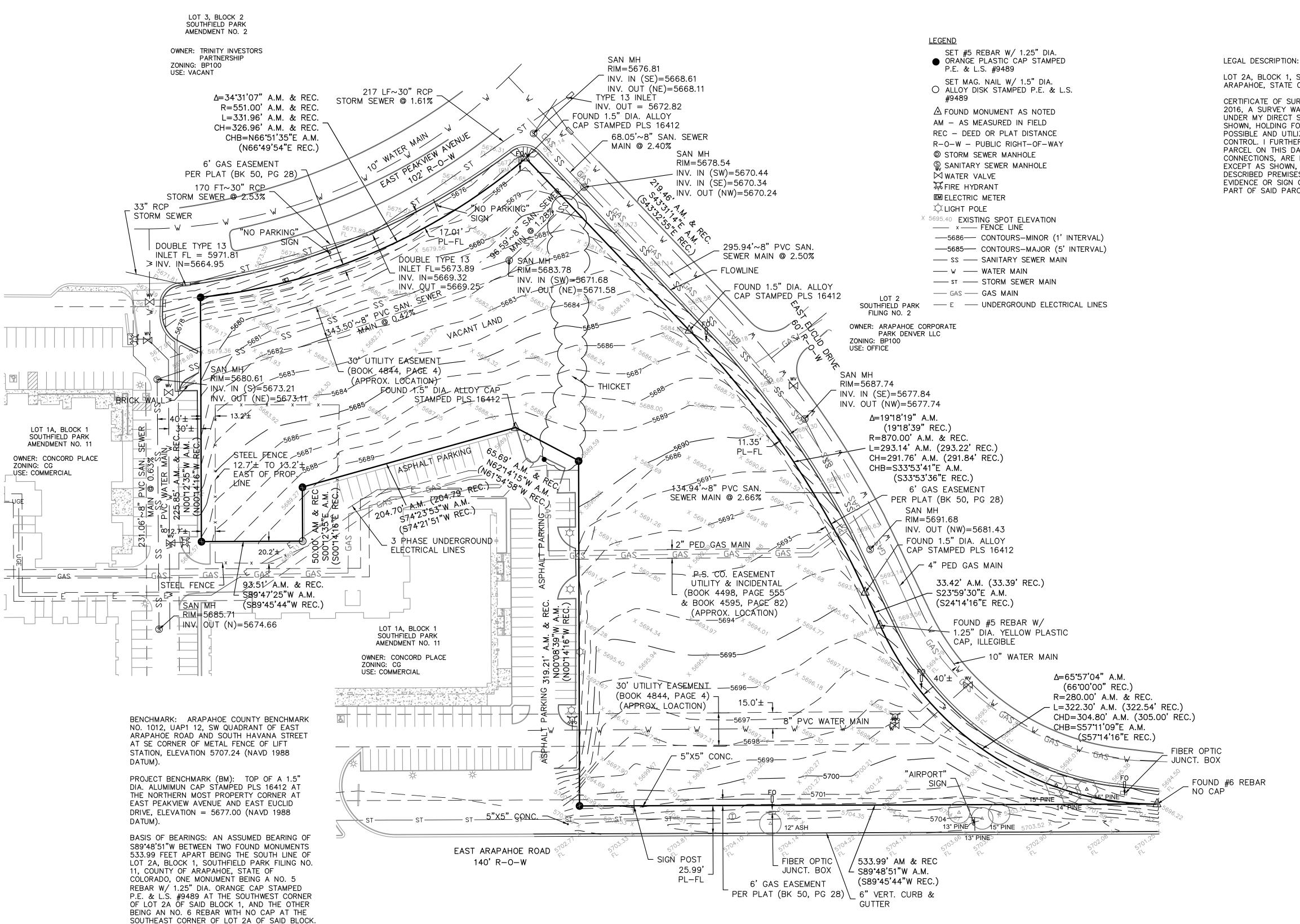
NOVEMBER 2, 1993 SOUTHFIELD PARK EIGHTH ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A93-022). THE SIGN REQUIREMENTS FOR LOTS 1 AND 2, BLOCK 1 WERE AMENDED TO PERMIT IDENTIFICATION OF BUSINESSES AND INCREASE THE SIGN AREA TO 60 S.F. PER SIDE THE HEIGHT TO 10'-3".

APRIL 26, 2013 SOUTHFIELD CENTER REZONING PLAN (LU-12-00254). CHANGED THE ZONING FOR LOTS 1A AND 2A, SOUTHFIELD CENTER FILING NO. 11 FROM MIXED-USE PLANNED UNIT DEVELOPMENT (M-U-PUD) TO GENERAL COMMERCIAL (CG).

SS CHECKED SMS SMS NDER SII AD 2 JOB NO. N/A JUNE 20, 2016

SITE PLAN

LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11 PART OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST, 6TH PRINCIPAL MERIDIAN CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



LOT 2A, BLOCK 1, SOUTHFIELD PARK 11TH FILING, COUNTY OF ARAPAHOE, STATE OF COLORADO.

CERTIFICATE OF SURVEY: I HEREBY CERTIFY THAT ON JANUARY 20, 2016, A SURVEY WAS MADE OF THE ABOVE DESCRIBED PROPERTY UNDER MY DIRECT SUPERVISION AND THE CORNERS WERE SET AS SHOWN, HOLDING FOUND POINTS AND PLAT DISTANCES WHEREVER POSSIBLE AND UTILIZING CITY OF DENVER SURVEY INFORMATION FOR CONTROL. I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE PARCEL ON THIS DATE, JANUARY 20, 2016, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES EXCEPT AS INDICATED, AND THAT THERE IS NO EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

NOTICE

ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN

2. MONUMENT DEFACING STATEMENT

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATÙTÉ 18-4-508, C.R.S.

- 3. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT-OF-WAY OR TITLE OF RECORD, CHESSNOE AND ASSOCIATES RELIED UPON RECORDED PLAT, THE CITY ASSESSOR'S RECORDS AND INFORMATION SUPPLIED BY
- 4. P.E. & L.S. SEAL, DEPICTED HEREON, VALID ONLY WITH WET SIGNATURE AND DATE WRITTEN THROUGH IT.
- 5. UTILITIES SHOWN HEREON ARE DRAWN FROM FIELD TIES AND THE BEST INFORMATION AVAILABLE FROM THE UTILITY COMPANIES. THIS INFORMATION IS FOR GENERAL USE ONLY AND NOT TO BE USED FOR EXCAVATION PURPOSES. CONTRACTOR TO FIELD LOCATE & VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION WORK IN AREA SET FORTH ON THIS DRAWING.
- 6. ALL LINEAL DISTANCES SET FORTH ON THIS SURVEY ARE IN FEET AND HUNDREDTHS OF A FOOT. FOR EXAMPLE 12.01 FEET EQUALS 12 FEET AND ONE ONE HUNDRETH OF A FOOT.

PREPARED BY: CHESSNOE AND ASSOCIATES 4101 EAST WESLEY AVENUE, SUITE #2, DENVER, COLORADO 80222 PHONE: 303-722-3267 E-MAIL: chessnoedenver@comcast.ne



JOB NO.

CHECKED

ER

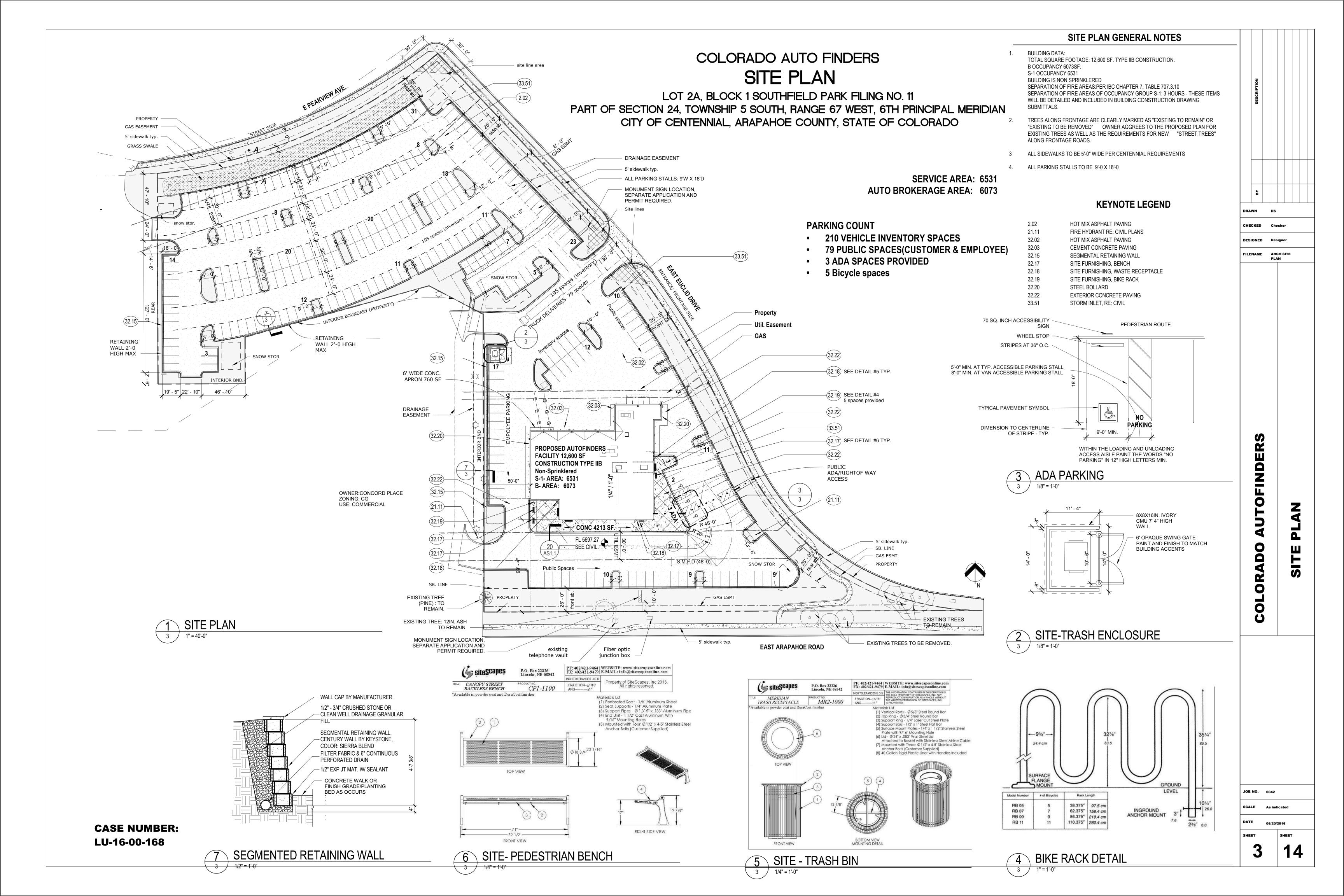
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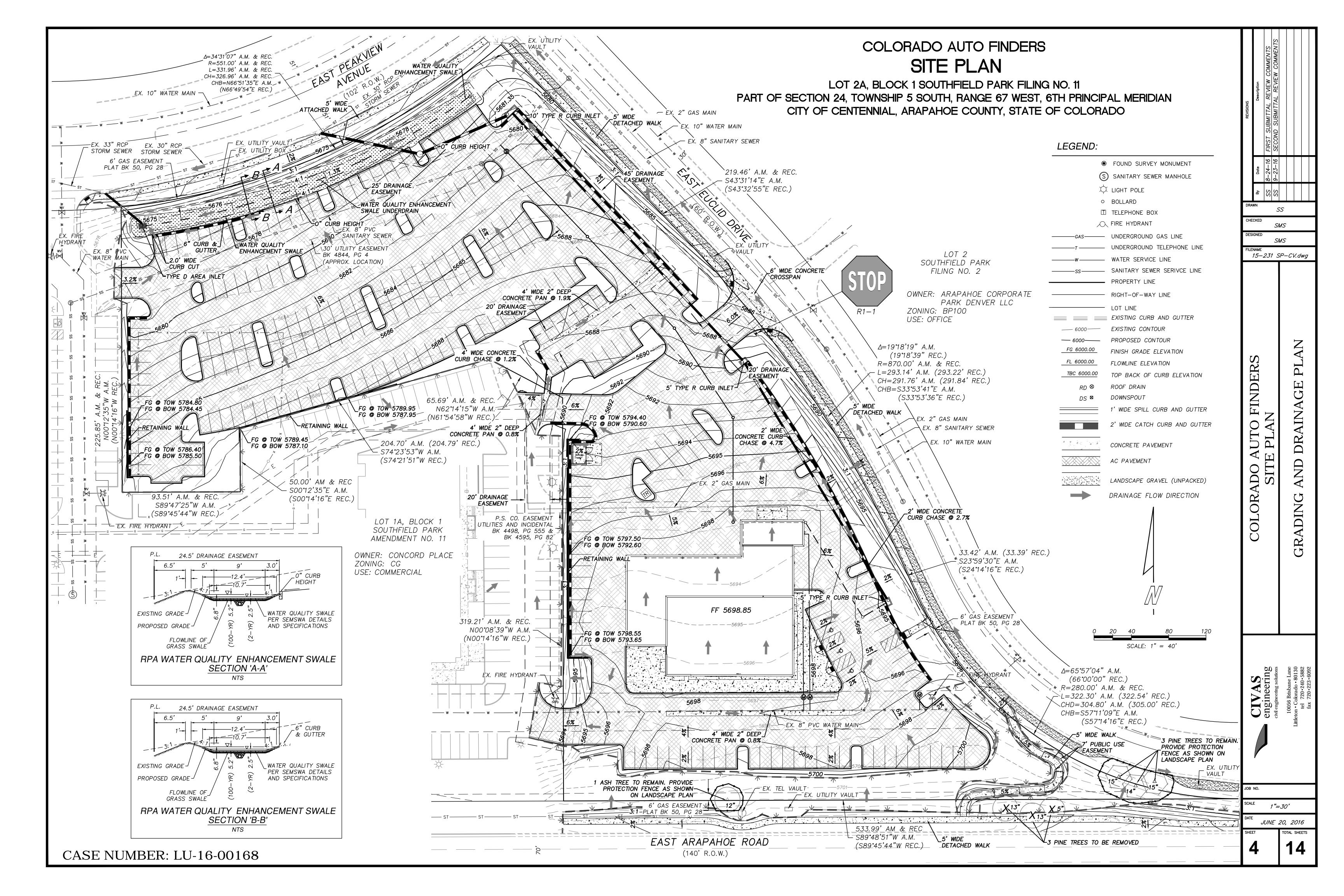
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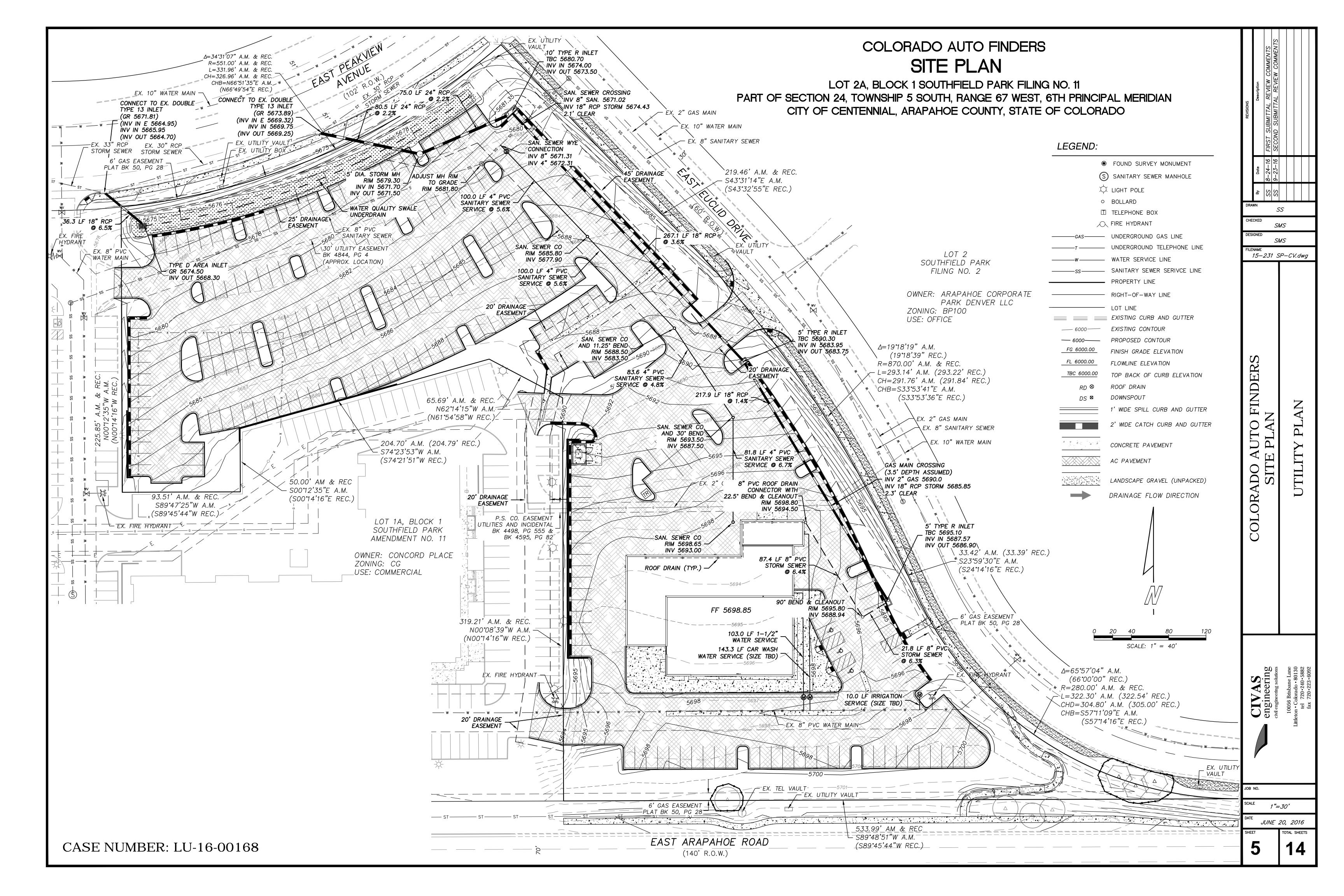
ADC

1" = 50'

CASE NUMBER: LU-16-00168



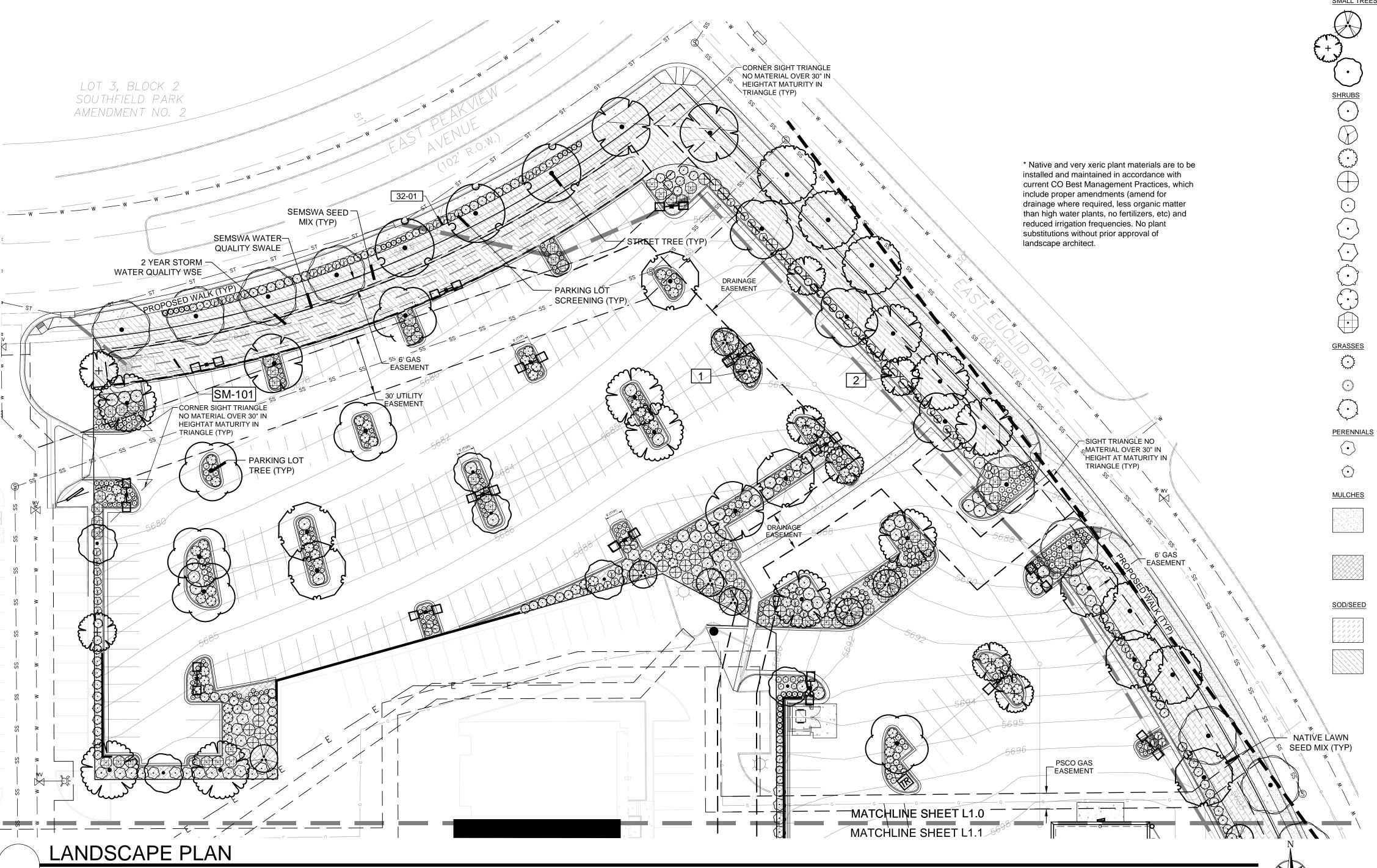




PART OF THE SW 1/4 OF SECTION _OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

PLAN NOTES

- 1. NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- 2. CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO **INSTALLATION OF SUCH MATERIALS.**
- 3. CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
- 4. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE
- 5. DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER. 6. WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS,
- AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
- 7. ALL EMITTERS PER IRRIGATION PLAN. EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- 8. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.



SCALE: 1" = 30'

SEMSWA Low-G	rowth Dr	ill Seedir	ng Mix	
Species	Variety	Notes	% in Mix	PLS#/AC
Buffalograss	Texoka	PNWS	20	3.2
Blue Grama	Hachita	PNWB	20	0.6
Western Wheatgrass	Arriba	PNCS	20	3.2
Sideoats Grama	Vaughn	PNWB	20	1.8
Thickspike Wheatgrass	Critana	PNCS	10	1
Streambank Wheatgrass	Sodar	PNCS	10	12

CASE NUMBER: LU-16-00168

SEED MAINTENANCE: MOW NATIVE SEED AREAS ONCE A MONTH OR ONLY WHEN NEEDED TO CONTROL WEEDS OR AT END OF GROWING SEASON. MOW SEED MIX TO A 4" HEIGHT AND LET NATIVE SEED MIX GROW TO 8"-16" HEIGHT. HAND PULL WEED OR

SPOT WEED USING A BROADLEAF APPLICATION DURING FIRST 3 GROWING SEASONS.

Native Lawn Mix (90%) Buffalograss (10%) Blue Grama

Seed @ 2-3 lb / 1000 sf

DISTURBED AREAS TO BE RESEEDED WITH NATIVE LAWN MIX UNLESS OTHERWISE NOTED. RE: CIVIL PLANS

SEE SHEET L2.0 FOR SITE CATEGORY REQUIREMENT CALCULATIONS

EX REM 3 REMOVE AS INCIDITED / ENTRING TREE TO BE REMOVED EX	EX. REM. 3	PLANT SCH			BOTANICAL NAME / COMMON NAME	CONT	VERIFY ALL COUNTS PER P
EX.REC 10 IOMANNE Protection of Construction (ANSININO TREE TO HEMANN EX.	EX SET 4 TO HEARNY Proceduring contentation (EXISTING TREE TO HEAVIN) EX		CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME		CAL
COMPANDED COMP	Continues	Δ	EX-REM	3	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
AG	AS 7 (8%) Accorporated to Land Control (1980) CS 11 (12%) Control supercone / Northern Chaldre CS 11 (12%) Control supercone / Northern Chaldre CD 10 (11%) Control supercone / Northern Chaldre CD 11 (11%) Physical supercone /	>	EX-RET	4	TO REMAIN- Protect during construction / EXISTING TREE TO REMAIN	EX	
CS	Column	ARGE TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
CO	CO		AG	7 (8%)	Acer grandidentatum / Bigtooth Maple	B & B	2"Cal
Description	D. St. Office Control Cont)	CS	11 (12%)	Catalpa speciosa / Northern Catalpa	B & B	2"Cal
DO	Dec 10 (11%) Gymnostacks didisal Expressor / Kentucky Culterores Da. B 2°Cal		СО	10 (11%)	Celtis occidentalis / Common Hackberry	B & B	2"Cal
ON	ON)	GTS	8 (9%)	Gleditsia triacanthos inermis `Shademaster` TM / Shademaster Locust	B & B	2"Cal
U.G. D (10%) Ultrus x Frontec' / American Film B A B 2/Cal	U.G. 0 (10%) Ulmus x Frontior / American Elm	$\overline{\cdot}$	GD	10 (11%)	Gymnocladus dioica `Espresso` / Kentucky Coffeetree	B & B	2"Cal
Note	All		QM	10 (11%)	Quercus muehlenbergii / Chinkapin Oak	B & B	2"Cal
All	All	•	UC	9 (10%)	Ulmus x `Frontier` / American Elm	B & B	2"Cal
No.	No.	LL TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
PCA	PCA		АН	9 (10%)	Acer tataricum `Hot Wings` / Hot Wings Tatarian Maple	B & B	1.5"Cal
PCA	PCA		KP	9 (10%)	Koelreuteria paniculata / Golden Rain Tree	B & B	1.5"Cal
TOTAL = 19 PROPOSED TREES	TOTAL = 19 PROPOSED TREES	``				R&R	
AC 48 (8%) Arctostaphylos x coloradoensis Chertan' / Manzanita 5 gal CD 91 (14%) Carycoteris x clandoensis Dark Knight / Blue Mist Shrub 5 gal CIN 26 (4%) Cerroccarpus intricatus / Little Leaf Mountain Mahagany 5 gal CIN 26 (4%) Cheroscarpus intricatus / Little Leaf Mountain Mahagany 5 gal CMF 51 (8%) Cheroscarpus intricatus / Little Leaf Mountain Mahagany 5 gal CMF 51 (8%) Cheroscarpus intricatus / Little Leaf Mountain Mahagany 5 gal CMF 51 (8%) Cheroscarpus opulifolius / Diablei / Fernbush 5 gal POD 71 (11%) Physocarpus opulifolius / Diablei	AC 48 (8%) Arctostaphylos x coloradoensis Chieffain' / Manzanita 5 gal CD 91 (14%) Caryopteris x clandonensis 'Dark Knighr' / Blus Mist Shrub 5 gal CIN 26 (4%) Cercoccapus indicatus / Little Leaf Mountain Mahogony 5 gal CIN 26 (4%) Charasebatiaria millefolium 'Fernbush' / Fernbush 5 gal CMF 51 (8%) Charasebatiaria millefolium 'Fernbush' / Fernbush 5 gal MR 64 (10%) Mahonia rapens / Creeping Mahonia 5 gal POD 71 (11%) Physocarpus opulifolius 'Diablo' / Diablo Ninebark 5 gal PPC 87 (10%) Potentilla fruticosa 'Goldringer / Goldringer Potentilla 5 gal PPB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PPB 97 (14%) Prunus besseyi / Pawnee Buttes' / Sand Cherry 5 gal PPB 97 (14%) Prunus besseyi / Pawnee Buttes' / Sand Cherry 5 gal PRG 04 (14%) Rhus aromatica 'Gol Low / Gro Low Fragrant Sumac 5 gal TOTAL 83 PROPOSED SHRUIS CODE 0TY BOTANIGAL NAME / COMMON NAME 5 SIZE FIELD2 SI 28 Sorghastrum nutans 'Indian Steel' / Indian Crass 1 gal SW 78 Sportokolus wrightii / Big Sacaton 1 gal SW 78 Sportokolus wrightii / Big Sacaton 1 gal TOTAL 815 PROPOSED SRASSES NNALS CODE 0TY BOTANIGAL NAME / COMMON NAME 5 SIZE FIELD2 CI 51 Callifhoe Involucorati / Wine Cups 1 gal OM 56 Genomera: macrocarpa / Evening Primrose 1 gal TOTAL 810 PROPOSED PRENNIALS CODE 0TY BOTANIGAL NAME / COMMON NAME COMMON NAME 1 gal OM 56 Genomera: macrocarpa / Evening Primrose 1 gal TOTAL 810 PROPOSED PRENNIALS COMMON NAME COMMO	J	TOTAL	=91 PROP(OSED TREES		
CIN	CIN	7					FIELD2
CMF 51 (8%) Chamadebataira millidiolium "Fernbush" / Fernbush 5 gal MR 64 (10%) Mahonia repens / Creeping Mahonia 5 gal PDD 71 (11%) Physocarpus opulifolius "Diablo" / Diablo Ninebark 5 gal PPD 71 (11%) Physocarpus opulifolius "Diablo" / Diablo Ninebark 5 gal PPG 67 (10%) Potentilla fruticosa "Goldfinger / Galdfinger Potentilla 5 gal PPB 34 (5%) Prurus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prurus besseyi / Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prurus besseyi Pawnee Buttes' / Sand Cherry 5 gal RG 94 (14%) Rhus aromatea "Gro-Low" / Gro-Low Fragrant Sumac 5 gal TOTAL = 633 PROPOSED SHRUBS SSES CODE 017 BOTANICAL NAME / COMMON NAME 5 SIZE FIELD2 SI 28 Sorghastrum nutins "Indian Steel" / Indian Grass 1 gal SW 78 Sporobolus wightii / Big Sacaton 1 gal TOTAL = 315 PROPOSED GRASSES ENNIALS CODE 017 BOTANICAL NAME / Common NAME 5 SIZE FIELD2 CI 51 Callinhee involucratar / Wine Cups 1 gal OM 58 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL = 107 PROPOSED GRASSES CHES CODE 017 BOTANICAL NAME / Common NAME CUps 1 gal OM 58 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL = 107 PROPOSED PERENNIALS CODE 017 BOTANICAL NAME / COMMON NAME CUps 1 gal AGG 8,990 sf AGGREGATE / 2 - 4" 24' LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT, PLACE AT UNIFORN DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED GRAD MULCH / WOOD MULCH. OGORILLA HAVE ROS SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MX SEED MIX SPECIFICATIONS SHEET L1.0	CMF 51 (8%) Chamadbatiaria millifolium 'Fembush' / Fembush 5 gal MR 64 (10%) Mahonia repens / Creeping Mahonia 5 gal PDD 71 (11%) Physocarpus opulifolius 'Diablo' / Diablo Ninebark 5 gal PPG 67 (10%) Potentilla frutiosea 'Goldfinger / Goldfinger Potentilla 5 gal PPG 67 (10%) Potentilla frutiosea 'Goldfinger / Goldfinger Potentilla 5 gal PPB 34 (5%) Prurus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prurus besseyi / Pawree Buttes / Sand Cherry 5 gal RG 34 (14%) Prurus besseyi / Pawree Buttes / Sand Cherry 5 gal RG 34 (14%) Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 5 gal TOTAL =633 PROPOSED SHRUBS SSES CODE 0TY BOTANICAL NAME / COMMON NAME 5/2E FIELD2 SI 28 Sorghastrum rutians 'Indian Steet / Indian Grass 1 gal SH 211 Sporobolius heterolepis / Prairie Dropseed 1 gal TOTAL =315 PROPOSED GRASSES ENNIALS CODE 0TY BOTANICAL NAME / COMMON NAME 5/2E FIELD2 CI 51 Callirhoe involucatal / Vine Cups 1 gal TOTAL =107 PROPOSED GRASSES CODE 0TY BOTANICAL NAME / COMMON NAME 5/2E FIELD2 CHES CODE 0TY BOTANICAL NAME / COMMON NAME 10 gal TOTAL =107 PROPOSED PERENNIALS CHES CODE 0TY BOTANICAL NAME / COMMON NAME 10 gal AGGREGATE / 2 - 4' mulch 24 - LOCAL RIVER ROCK SEE NOTES FOR AND DETAILS FOR PLACEMENT, PLACE AT UNIFORM DEPTH OF 3' OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sl SHREDDED CADA MULCH / WOOD MULCH NO WEED BARRIER UNDER WOOD MULCH AREAS NLM 26,721 sl NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX SEED MIX SPECIFICATIONS SHEET L1.0	\nearrow	CD	91 (14%)	Caryopteris x clandonensis `Dark Knight` / Blue Mist Shrub	5 gal	
CMF 51 (8%) Chamaebatiaria millefolium 'Fembush' /Fembush 5 gal MR 64 (10%) Mahonia repens / Creeping Mahonia 5 gal POD 71 (11%) Physocarpus epulifolius 'Diable' / Diable Ninebark 5 gal PFG 67 (10%) Potentilla fruitiosa 'Goldfinger / Goldfinger Potentilla 5 gal PFG 67 (10%) Potentilla fruitiosa 'Goldfinger / Goldfinger Potentilla 5 gal PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Buttes' / Sand Cherry 5 gal RG 34 (14%) Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac 5 gal TOTAL -633 PROPOSED SHRUBS SES COOE 0TY BOTANICAL HAME / COMMON NAME SIZE FIELD2 SI 28 Sorghastrum nutans 'Indian Steel' / Indian Grass 1 gal SH 211 Sporobolus heterolepis / Prairie Dropseed 1 gal SW 76 Sporobolus wrightii / Big Saceton 1 gal TOTAL -315 PROPOSED GRASSES NNIALS CODE 0TY BOTANICAL HAME / COMMON NAME SIZE FIELD2 CI 51 Callifnoe involucrata / Wine Cups 1 gal OM 50 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED PERENNIALS CODE 0TY BOTANICAL HAME / COMMON NAME COM TOTAL -107 PROPOSED DECENTAL TOTAL -107 PROPOSED DECENTAL TOTAL	CMF 51 (8%) Chamaedesiaria millofolium 'Fembush' Fembush' Sigal	~~ ~~~	CIN	26 (4%)	Cercocarpus intricatus / Little Leaf Mountain Mahogony	5 gal	
MR	MR 64 (10%) Mahonia repens / Creeping Mahonia 5 gal POD 71 (111%) Physocarpus opulifolius 'Diablo' / Diablo Ninebark 5 gal PFG 67 (10%) Potentilla fruticosa 'Goldlinger / Goldlinger Potentilla 5 gal PFG 67 (10%) Potentilla fruticosa 'Goldlinger / Goldlinger Potentilla 5 gal PFB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PFB 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal RG 94 (14%) Rhus aromatica 'Gro-Low / Gro-Low Fragrant Sumac 5 gal TOTAL =633 PROPOSED SHRUBS SSES CODE 9TY BOTANICAL NAME / COMMON NAME SIZE FIELD2 SI 28 Sorghastrum nutrans 'Indian Steef / Indian Grass 1 gal SH 211 Sporobolus wrightii / Big Sacaton 1 gal SW 76 Sporobolus wrightii / Big Sacaton 1 gal TOTAL =315 PROPOSED GRASSES ENNIALS CODE 9TY BOTANICAL NAME / COMMON NAME SIZE FIELD2 OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS CODE 9TY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8.990 sl AGGREGATE / 2 - 4′ 2-4 **LOCAL RIVER ROCK SEE NOTES FOR AND DETAILS FOR PLACEMENT, PLACE AT UNIFORM DEPTH OF 3' OVER PERMEABLE WIEDE BARRIER FABRIC. WM 21,437 sl SHEDDED CEDAR MULCH / WOOD MULCH GORNILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS NLM 26,721 sl NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX SEED MIX SEES SEED MIX SPECIFICATIONS SHEET I.10 0	mrk.		, ,			
POD 71 (11%) Physocarpus opulifolius "Diablo Vinebark 5 gal PFG 67 (10%) Potentilla fruticosa "Goldfinger" / Goldfinger Potentillia 5 gal PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 94 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 95 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 96 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 97 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Butter / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Butter / Pawnee Butter / Pawnee Butter / Pawnee Butter / Republic / Repu	POD 71 (11%) Physocarpus opulifolius "Diablo" / Diablo Ninebark 5 gal PFG 67 (10%) Petentilla fruticosa "Goldringer" / Goldringer Potentilla 5 gal PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 94 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 95 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 96 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 97 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Buttes / Sand Cherry 5 gal RG 98 (14%) Prunus besseyi / Pawnee Runus / Pawnee			,			
PFG 57 (10%) Potential fruitoosa 'Goldfinger' / Goldfinger Potential 5 gal PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi / Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi 'Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Pawnee Buttes' / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 87 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 88 (14%) Prunus besseyi / Sand Cherry 5 gal PBP 88 (14%) PRUNUS BESSEY COMMON NAME PBP 88 (14%) PRUNU	PFG 67 (10%) Potentilla fruticosa 'Goldlinger' / Goldlinger Potentilla 5 gal PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi / Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes ' Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes 'Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes 'Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes 'Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes 'Sand Cherry 5 gal PBP 67 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Continue Lawn Mix Sand PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Continue Lawn Mix Sand PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Continue Lawn Mix Sand PBP 78 (14%) Prunus besseyi 'Pawnee Buttes Sand Continue Lawn Mix Sand PBP 78 (14%) Prunus bessey 'Pawnee Buttes Sand Continue Lawn Mix Sand PBP 78 (14%) Prunus bessey 'Pawnee Buttes Sand Continue Lawn Mix Sand PBP 78 (14%) Prunus bessey 'Pawnee Buttes Sand Cherry 5 gal PBP 78 (14%) Prunus bessey 'Pawnee Butte			, ,			
PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal	PB 34 (5%) Prunus besseyi / Sand Cherry 5 gal	\(\frac{1}{3} \)				5 gal	
PBP 87 (14%) Prunus besseyi Pawnee Buttes' Sand Cherry 5 gal	PBP 87 (14%) Prunus besseyi Pawnee Buttes' Sand Cherry 5 gal	<i>></i>	PFG	67 (10%)	Potentilla fruticosa `Goldfinger` / Goldfinger Potentilla	5 gal	
RG	RG		PB	34 (5%)	Prunus besseyi / Sand Cherry	5 gal	
TOTAL =633 PROPOSED SHRUBS SIZE FIELD2	TOTAL =633 PROPOSED SHRUBS	}	PBP	87 (14%)	Prunus besseyi `Pawnee Buttes` / Sand Cherry	5 gal	
SEES	SEES					5 gal	
SH 211 Sporobolus heterolepis / Prairie Dropseed 1 gal	SH 211 Sporobolus heterolepis / Prairie Dropseed 1 gal	<u>SES</u>	CODE		BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
SW 76 Sporobolus wrightii / Big Sacaton 1 gal TOTAL =315 PROPOSED GRASSES NIALS CODE QTY BOTANICAL NAME / COMMON NAME SIZE FIELD2 CI 51 Callirhoe involucrata / Wine Cups 1 gal OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS ES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH OGORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS ED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX SEED MIX SPECIFICATIONS SHEET L1.0 SLG 15,409 sf SEMSWA LOW-GROWTH DRILL SEEDING MIX SEES SEED MIX SPECIFICATIONS SHEET L1.0	SW 76 Sporobolus wrightii / Big Sacaton 1 gal TOTAL =315 PROPOSED GRASSES NIALS CODE QTY BOTANICAL NAME / COMMON NAME SIZE FIELD2 CI 51 Callirhoe involucrata / Wine Cups 1 gal OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS ES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4* 2-4* LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3* OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH OGORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS ED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX SEED MIX SPECIFICATIONS SHEET L1.0 seed		SI	28	Sorghastrum nutans `Indian Steel` / Indian Grass	1 gal	
TOTAL =315 PROPOSED GRASSES INNIALS CODE QTY BOTANICAL NAME / COMMON NAME SIZE FIELD2 CI 51 Callirhoe involucrata / Wine Cups 1 gal OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS CHES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS SEED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX Seed SLG 15,409 sf SEMSWA LOW-GROWTH DRILL SEEDING MIX SEE SEED MIX SPECIFICATIONS SHEET L1.0	TOTAL =315 PROPOSED GRASSES INNIALS CODE QTY BOTANICAL NAME / COMMON NAME CI 51 Callirhoe involucrata / Wine Cups 1 gal OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS CHES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS SEED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX. SLG 15,409 sf SEMSWA LOW-GROWTH DRILL SEEDING MIX SEE SEED MIX SPECIFICATIONS SHEET L1.0	Silve	SH	211	Sporobolus heterolepis / Prairie Dropseed	1 gal	
NIALS CODE QTY BOTANICAL NAME / COMMON NAME CI 51 Callirhoe involucrata / Wine Cups 1 gal OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL = 107 PROPOSED PERENNIALS ES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS EED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX. SLG 15,409 sf SEMSWA LOW-GROWTH DRILL SEEDING MIX SEED MIX. SHEET L1.0	NIALS CODE QTY BOTANICAL NAME / COMMON NAME CI 51 Callirhoe involucrata / Wine Cups 1 gal OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL = 107 PROPOSED PERENNIALS ES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS EED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX. SEED SEED MIX SPECIFICATIONS SHEET L1.0	}				1 gal	
OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS ES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS EED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX. SLG 15,409 sf SEMSWA LOW-GROWTH DRILL SEEDING MIX SEED SEED MIX SEED SHEET L1.0	OM 56 Oenothera macrocarpa / Evening Primrose 1 gal TOTAL =107 PROPOSED PERENNIALS ES CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 AGG 8,990 sf AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC. WM 21,437 sf SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS EED CODE QTY BOTANICAL NAME / COMMON NAME CONT FIELD2 NLM 26,721 sf NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX seed SLG 15,409 sf SEMSWA LOW-GROWTH DRILL SEEDING MIX SEED MIX. Seed	NIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME		FIELD2
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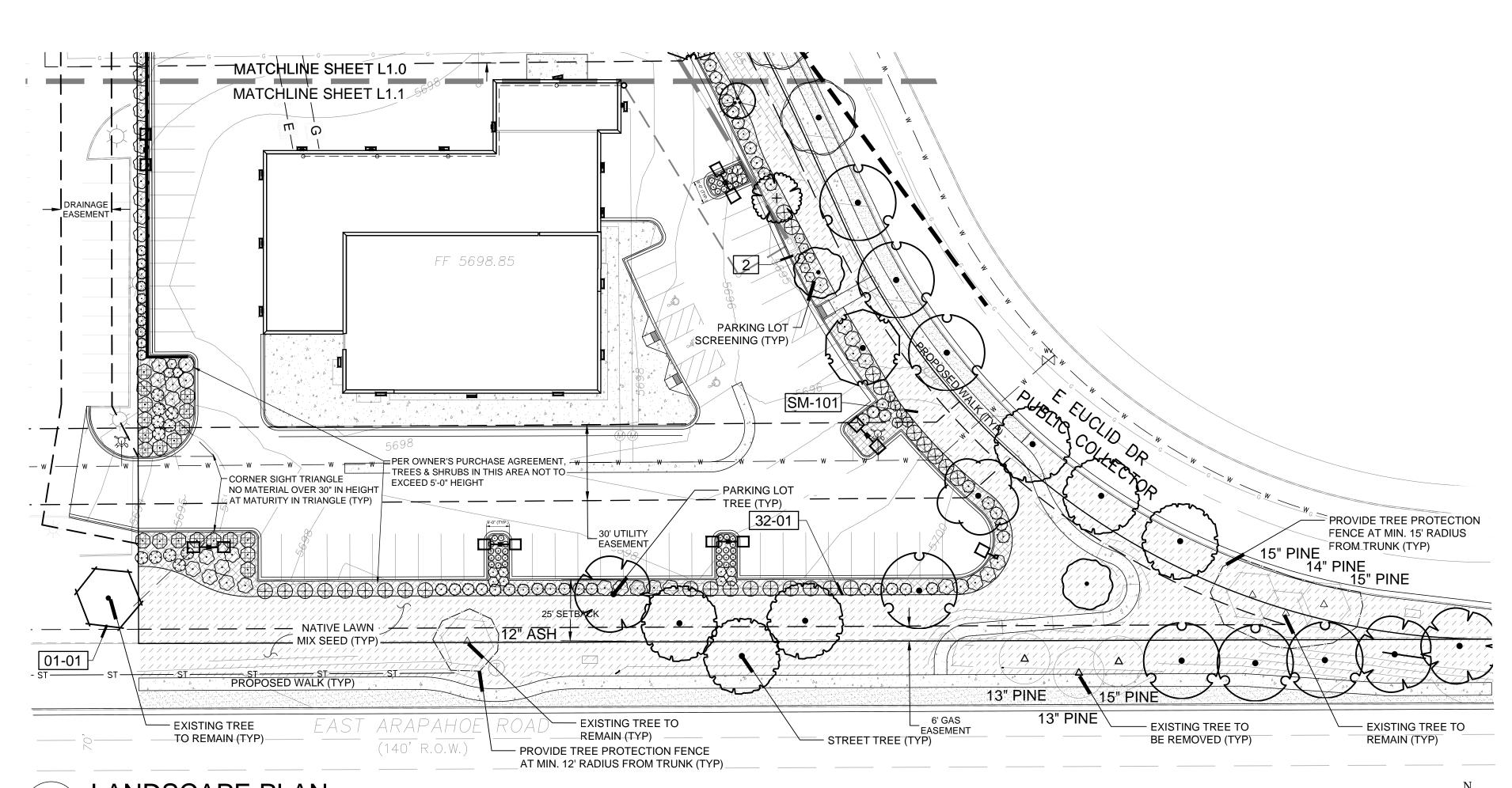
QTY FOR REFERENCE ONLY.

ANDSC

SEE SHEET

June 20, 2016

PART OF THE SW 1/4 OF SECTION _OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



LANDSCAPE PLAN

SYMBOL DESCRIPTION



REFERENCE NOTES SCHEDULE

1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).	
2	PLACE PLANTS TO PROVIDE MIN. 2` CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
SYMBOL	01 GENERAL DESCRIPTION	QTY
01-01	SEED ALL DISTURBED AREAS WITH NATIVE LAWN MIX UNLESS OTHERWISE NOTED.	
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	<u>QTY</u>

STIVIBUL	DESCRIPTION	<u>QII</u>
	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	1,221 LF
32-01		
	SEED MIXES	
<u>SYMBOL</u>	DESCRIPTION	<u>QTY</u>

ALL SEEDED AREAS TO BE AMENDED AND HYDROSEEDED. SM-101 PLACE EROSION CONTROL MAT ON ALL SLOPES EXCEEDING 4:1.

SEE SHEET L2.0 FOR SITE CATEGORY REQUIREMENT CALCULATIONS

* Native and very xeric plant materials are to be installed and maintained in accordance with current CO Best Management Practices, which include proper amendments (amend for drainage where required, less organic matter than high water plants, no fertilizers, etc) and reduced irrigation frequencies. No plant substitutions without prior approval of landscape architect.

SEMSWA Low-G	rowth Dr	ill Seedir	ng Mix	
Species	Variety	Notes	% in Mix	PLS#/AC
Buffalograss	Texoka	PNWS	20	3.2
Blue Grama	Hachita	PNWB	20	0.6
Western Wheatgrass	Arriba	PNCS	20	3.2
Sideoats Grama	Vaughn	PNWB	20	1.8
Thickspike Wheatgrass	Critana	PNCS	10	1
Streambank Wheatgrass	Sodar	PNCS	10	1.2

Native Lawn Mix (90%) Buffalograss (10%) Blue Grama Seed @ 2-3 lb / 1000 sf DISTURBED AREAS TO BE RESEEDED WITH NATIVE LAWN

MIX UNLESS OTHERWISE NOTED.

RE: CIVIL PLANS

SEED MAINTENANCE: MOW NATIVE SEED AREAS ONCE A MONTH OR ONLY WHEN NEEDED TO CONTROL WEEDS OR AT END OF GROWING SEASON. MOW SEED MIX TO A 4" HEIGHT AND LET NATIVE SEED MIX GROW TO 8"-16" HEIGHT. HAND PULL WEED OR SPOT WEED USING A BROADLEAF APPLICATION DURING FIRST 3 GROWING SEASONS.

SEED ESTABLISHMENT: KILL EXISTING VEGETATION BY SOLARIZATION, OR WITH A NON-RESIDUAL HERBICIDE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO WORK, IRRIGATE FOR 2-3 WEEKS AND RE-APPLY HERBICIDE TO ANY EMERGING WEEDS. REMOVE DEBRIS, LARGE CLUMPS, ETC. SPREAD ORGANIC MATTER AT 2 CYD PER 1000 SF AND SPECIFIED AMENDMENTS AND TILL INTO TOP 4-6" OF SOIL. SEE NOTE #10 FOR SPECIFICS ON APPLICATION METHOD, SLOPE PROTECTION, ETC. HYDROMULCH AND ENSURE SEEDLINGS DO NOT DRY OUT FOR AT LEAST 45 DAYS BY IRRIGATING FREQUENTLY. SEEDLINGS TO BE IN DAMP SOIL BUT NOT STANDING WATER PROVIDE LESS FREQUENT, DEEP IRRIGATION AFTER SEED EMERGENCE.

PLAN NOTES

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED
- DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE. 2. CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO
- **INSTALLATION OF SUCH MATERIALS.** 3. CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE,
- PRIOR TO INSTALLATION OF SEEDING MATERIALS. 4. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE
- **DETAILS SHEET L2.0.** 5. DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- 6. WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
- 7. ALL EMITTERS PER IRRIGATION PLAN. EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- 8. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

EXISTING TREES	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	CONT	CAL
Δ	EX-REM	3	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
	EX-RET	4	TO REMAIN- Protect during construction / EXISTING TREE TO REMAIN	EX	
LARGE TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	AG	7	Acer grandidentatum / Bigtooth Maple	B & B	2"Cal
	CS	11	Catalpa speciosa / Northern Catalpa	B & B	2"Cal
	СО	10	Celtis occidentalis / Common Hackberry	B & B	2"Cal
e f	GTS	8	Gleditsia triacanthos inermis `Shademaster` TM / Shademaster Locust	B & B	2"Cal
	GD	10	Gymnocladus dioica `Espresso` / Kentucky Coffeetree	B & B	2"Cal
	QM	10	Quercus muehlenbergii / Chinkapin Oak	B & B	2"Cal
•	UC	9	Ulmus x `Frontier` / American Elm	B & B	2"Cal
SMALL TREES	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	CONT	<u>CAL</u>
	АН	9	Acer tataricum `Hot Wings` / Hot Wings Tatarian Maple	B & B	1.5"Ca
\(\)	KP	9	Koelreuteria paniculata / Golden Rain Tree	B & B	1.5"Ca
	PCA	8	Pyrus calleryana `Autumn Blaze` / Autumn Blaze Pear	B & B	1.5"Ca
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD
$\overline{\bigcirc}$	AC	48	Arctostaphylos x coloradoensis `Chieftain` / Manzanita	5 gal	
	CD	91	Caryopteris x clandonensis `Dark Knight` / Blue Mist Shrub	5 gal	
8000000 B	CIN	26	Cercocarpus intricatus / Little Leaf Mountain Mahogony	5 gal	
	CMF	51	Chamaebatiaria millefolium `Fernbush` / Fernbush	5 gal	
\odot	MR	64	Mahonia repens / Creeping Mahonia	5 gal	
$\overline{(\cdot)}$	POD	71	Physocarpus opulifolius `Diablo` / Diablo Ninebark	5 gal	
$\overline{\bullet}$	PFG	67	Potentilla fruticosa `Goldfinger` / Goldfinger Potentilla	5 gal	
< ·)	РВ	34	Prunus besseyi / Sand Cherry	5 gal	
$\langle \cdot \rangle$	PBP	87	Prunus besseyi `Pawnee Buttes` / Sand Cherry	5 gal	
	RG	94	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	5 gal	
GRASSES	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	SIZE	FIELD
3	SI	28	Sorghastrum nutans `Indian Steel` / Indian Grass	1 gal	
AND OLIVE	SH	211	Sporobolus heterolepis / Prairie Dropseed	1 gal	
e de la companya della companya della companya de la companya della companya dell	SW	76	Sporobolus wrightii / Big Sacaton	1 gal	
PERENNIALS	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD
•	CI	51	Callirhoe involucrata / Wine Cups	1 gal	
(·)	ОМ	56	Oenothera macrocarpa / Evening Primrose	1 gal	
<u>MULCHES</u>	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	CONT	FIELD
	AGG	8,990 sf	AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.	mulch	
	WM	21,437 sf	SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS	mulch	
SOD/SEED	CODE	<u>QTY</u>	BOTANICAL NAME / COMMON NAME	CONT	FIELD
	NLM	26,721 sf	NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX.	seed	
	SLG	15,409 sf	SEMSWA LOW-GROWTH DRILL SEEDING MIX SEE SEED MIX SPECIFICATIONS SHEET L1.0 PLANTINGS ARE XERIC	seed	

SEE SHEET June 20, 2016

PART OF THE SW 1/4 OF SECTION OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

GENERAL NOTES

- (Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
- 3. EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
- 4. GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS: A. 1" BELOW CURB FOR ALL SEEDED AREAS. B. 2.5" BELOW CURB FOR ALL SODDED AREAS.
- C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
- CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
- AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
- FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
- 8. CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
- MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDED BARK MULCH. SHREDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH, TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4' DIAMETER OF WOOD MULCH, 3" DEPTH. SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE WOOD MULCH RING MINIMUM 6" LARGER RADIUS THAN ROOT BALL OR CONTAINER SIZE 3" DEEP. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.

TREES IN COBBLE/ROCK MULCH TO RECEIVE 4' DIAMETER OF WOOD MULCH, 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE WOOD MULCH RING MINIMUM 6" LARGER RADIUS THAN ROOT BALL OR CONTAINER SIZE, 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.

USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1

SEASONS.

4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.

9. DEEP WATER ALL PLANTS AT TIME OF PLANTING.

5. DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON

6. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.

1. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE

2. AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE

PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE

3. STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING

7. WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.

8. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

REMOVE TWINE FROM BRANCHES ON TREES TIED UP FOR SHIPPING. SPRAY WITH WILT PRUF OR EQUAL (IF LEAFED OUT).

RANGE FLUORESCENT FLAGGING ON WIRE FOR

SET TREE VERTICAL, STAKE UP TO 3" CALIPER TREES WITH TWO POSTS ON THE LEEWARD AND WINDWARD SIDES; STAKE TREES OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE WITH MINIMUM 6" DANGLING.

TRUNK FLARE MUST BE VISIBLE AT TOP OF ROOTBALL POSITION ROOT FLARE AT GRADE.

ET STAKES IN MINIMUM 18" FIRM SOIL. REMOVE STAKES ITHIN 12-18 MONTHS OF PLANTING.

SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY

CUTOUT IN WEED BARRIER FABRIC TO BE LARGER THAN

OR CROSS CUTS WILL BE ACCEPTED

ROOTBALL OF PLANTING, OR GROUP OF PLANTINGS. NO SLITS

SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

3-4" DEPTH OF SPECIFIED WOOD MULCH. PROVIDE A 6' DIAMETER WOOD MULCH RING AND 6" PLANTING RIM FOR TREES IN DRYLAND PLANTING BEDS AND IN IRRIGATED NATIVE SEED AREAS WHERE IRRIGATION ZONES ARE TO BE SHUT DOWN AFTER ESTABLISHMENT. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. KEEP MULCH AWAY FROM CONTACT WITH WOODY TRUNK. DO NOT PLACE FABRIC UNDER MULCH. NO RIM FOR TREES LOCATED IN TURF AREAS.

TYPE APPLICATOR AND APPLY 'SOIL GUARD' BONDED FIBER MATRIX (BFM). WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER) ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH) CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4"

SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION

REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. SCARES OF 1" OR MORE SHALL BE PAINTED WITH ORGANIC TREE PAINT, CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL

CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.

OR GREATER) ON ALL SLOPES 3:1 AND GREATER.

LEADERS WILL BE REJECTED.

ALL SEEDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS

ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2'

MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG! STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.

CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.

15. THE CERTIFICATE OF OCCUPANCY.

ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF

ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR 16. NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.

CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A

LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.

CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE

PERIOD AND FINAL ACCEPTANCE IS PROVIDED.

REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE

20. MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING. AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD, SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED AT A HEIGHT OF 3' OR GREATER. FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED, PLACE NO CLOSER THAN 6' FROM TRUNK, OR ONE HALF (1) OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WAIST, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTHE FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.

ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.

IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESTED RUN TIMES PROVIDED WITHIN THESE PLANS.

DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN

ALL NATIVE SEED AREAS TO BE PERMANENTLY IRRIGATED.

ADDITIONAL IRRIGATION NOTES:

WHERE POSSIBLE, IRRIGATION SYSTEMS SHALL BE INSTALLED IN CONJUNCTION WITH THE FINISH GRADING OF THE GRASS BUFFER, IF IRRIGATION WILL LAG, BUFFER SHALL BE RESTORES TO THE ORIGINAL CONDITION FOLLOWING INSTALLATION. DISTURBED LAYERS OF GRANULAR MATERIAL SHALL BE RESTORED, EROSION CONTROL BLANKET AND GEOTEXTILES SHALL BE REPLACED OR PATCHED, AND FINISH GRADES SHALL MAINTAIN DESIGN SLOPES.

WHERE POSSIBLE, IRRIGATION SYSTEMS SHALL BE INSTALLED IN CONJUNCTION WITH FINISH GRADE OF GRASS SWALE. IF IRRIGATION INSTALLATION WILL LAG, SWALE SHALL BE RESTORED TO ORIGINAL CONDITION FOLLOWING INSTALLATION. DISTURBED MEDIA LAYERS SHALL BE RESTORED, EROSION CONTROL BLANKETS AND GEOTEXTILES SHALL BE REPLACED OR PATCHED, AND FINISH GRADES SHALL BE RESTORED TO THE DESIGN SLOPES.

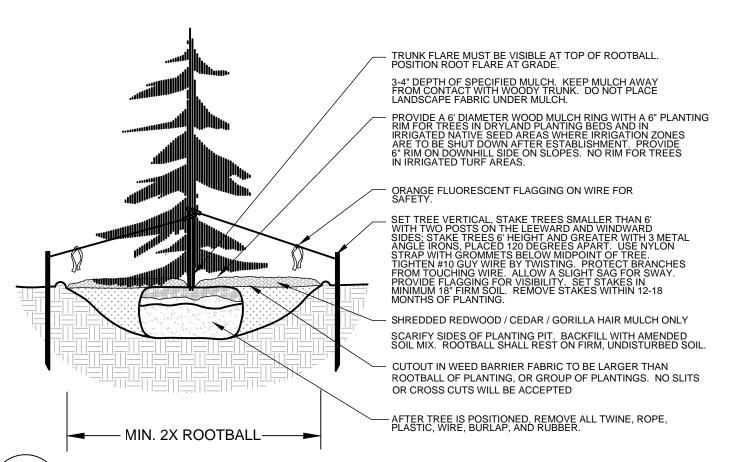
IRRIGATION HEADS SHALL BE PLACED OUTSIDE OF THE 2 YEAR WATER SURFACE ELEVATION OF

- 1. DO NOT REMOVE OR CUT LEADER.
- 2 PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING. 3. DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
- 4. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
- 6. MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE
- 7. PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH
- CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.

EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

8. ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.



LANDSCAPE AREA CALCULATION PLANT UNIT MODEL TYPE TOTAL REQUIRED

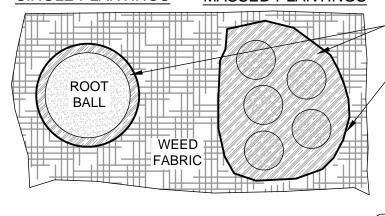
SITE CATEGORY REQUIREMENTS PER ARTICLE 8 OF 2011 LDC

LANDSCAPE AREA	AREA	CALCULATION	PLANT UNIT MODEL TYPE	TOTAL REQUIRED	TOTAL PROVIDED
STREET TREES E ARAPAHOE - 534 LF EUCLID Dr - 868 LF PEAKVIEW AVE - 332 LF	N/A	1 TREE PER 50 LINEAR FT. 1734 LINEAR FT. OF RIGHT OF WAY FRONTAGE / 50 FT. = 35		35 TREES 11 17 7	32 TREES + 3 CREDITS* 8 + 3 Tree Credits * 17 7 *See tree credit calculations below.
BUFFERYARDS	N/A	N/A			
PARKING LOT LANDSCAPING ISLANDS	3,500+ SF	277 PARKING SPACES 1 TREE PER 6 PARKING SPACES	N/A	46 TREES	33 TREES + 13 TREE CREDITS* *See tree credit calculations below.
STORMWATER DETENTION FACILITIES / OPEN SPACE	N/A	N/A	N/A	N/A	N/A
LANDSCAPE SURFACE RATIO	15%	196,011-23,518(PARKING) =172,493 S.F. X 0.15	N/A	18,707 SF	47,613 SF
LANDSCAPE AREA	25,874 SF	0.5 PLANT UNITS PER 1000 s.f. 25,874 s.f./1000 s.f. = 25.87 25.87 x 0.5 = 13.0 (round to nearest five hundredths)	STANDARD UNIT LARGE TREES -1 SMALL TREES - 2 EVERGREENS -0 SHRUBS - 13	9.5 PLANT UNITS LARGE TREES -13 SMALL TREES - 26 EVERGREENS -0 SHRUBS - 169	LARGE TREES —13 SMALL TREES — 26 EVERGREENS —0 SHRUBS — 169
TOTALS	TOTAL PROVIDED: 18707 SF			TOTAL # REQUIRED: 107 TREES,169 SHRUBS	TOTAL # PROVIDED: 107 TREES, 633 SHRUBS

* ALL PROPOSED PLANTINGS ARE XERIC

EXISTING TREE C	REDITS (Article	8, 12-8-204)
TREE SPECIES	SIZE (DBH)	CREDIT
PINE	14"	4
PINE	15"	4
PINE	15"	4
ASH	12"	4
TOTAL		16

SINGLE PLANTINGS MASSED PLANTINGS



- CUTOUT IN WEED BARRIER FABRIC TO BE MIN 6" RADIUS AND LARGER THAN ROOTBALL OF PLANTING, OR GROUP OF PLANTINGS. NO SLITS OR CROSS CUTS WILL BE ACCEPTED

CEDAR / GORILLA HAIR



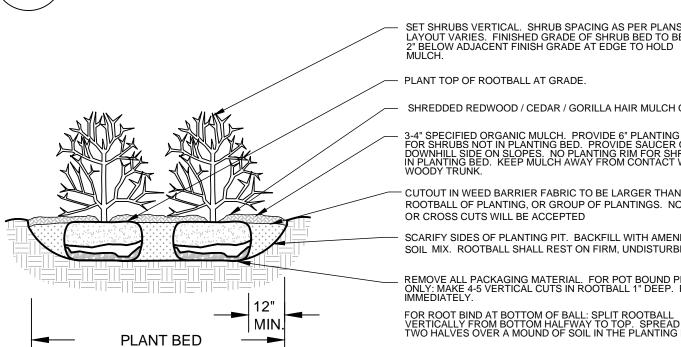
WEED FABRIC CUTOUT SPECIFIED AGGREGATE PER LANDSCAPE PLAN SCHEDULE, 3" UNIFORM

WEED BARRIER FABRIC

FABRIC CUTOUT / WOOD MULCH RING DETAIL

KEEP PLANTS MOIST AND SHADED UNTIL PLANTING SHREDDED REDWOO PLACE AS PER PLANS / CEDAR / GORILLA HAIR MULCH ONLY BARRIER FABRIC TO BE LARGER THAN ROOTBALL OF PLANTING, OR GROUP OF PLANTINGS. NO SLITS OR CROSS CUTS WILL B ACCEPTED

PERENNIAL/GROUNDCOVER PLANTING DETAIL NOT TO SCALE L2.0



SHREDDED REDWOOD / CEDAR / GORILLA HAIR MULCH ONLY CUTOUT IN WEED BARRIER FABRIC TO BE LARGER THAN ROOTBALL OF PLANTING, OR GROUP OF PLANTINGS. NO SLITS OR CROSS CUTS WILL BE ACCEPTED SCARIFY SIDES OF PLANTING PIT. BACKFILL WITH AMENDED SOIL MIX. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL

TOTAL PROVIDED

REMOVE ALL PACKAGING MATERIAL. FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL 1" DEEP. PLANT IMMEDIATELY. FOR ROOT BIND AT BOTTOM OF BALL: SPLIT ROOTBALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN THE PLANTING HOLE

> **EXISTING VEGETATION** (all ex. vegetation to remain

CLEAR OF DEBRIS AND

- CONSTRUCTION FENCING

ALL PRUNING AND/OR ROOT

NO DISTURBANCE IN CRZ

DISTURBANCE TO BE SUPERVISED

AND/OR PERFORMED BY A SERVICE LICENSED BY THE CITY FORESTER.

AND FILL

CRZ - CRITICAL ROOT ZONE

Use trees spade to relocate trees. Preserve the rootball and existing roots

Deep water for three months, provide drip irrigation thereafter.

unless noted to be removed)

SHRUB PLANTING DETAIL NOT TO SCALE L2.0

SECTION

JR0

JOB NO. SEE SHEET

June 20, 2016

EXISTING TREE PROTECTION DIRECTIONS:

PROTECTIVE FENCING:

L2.0

FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

WATERING, MULCHING, AND FERTILIZATION:

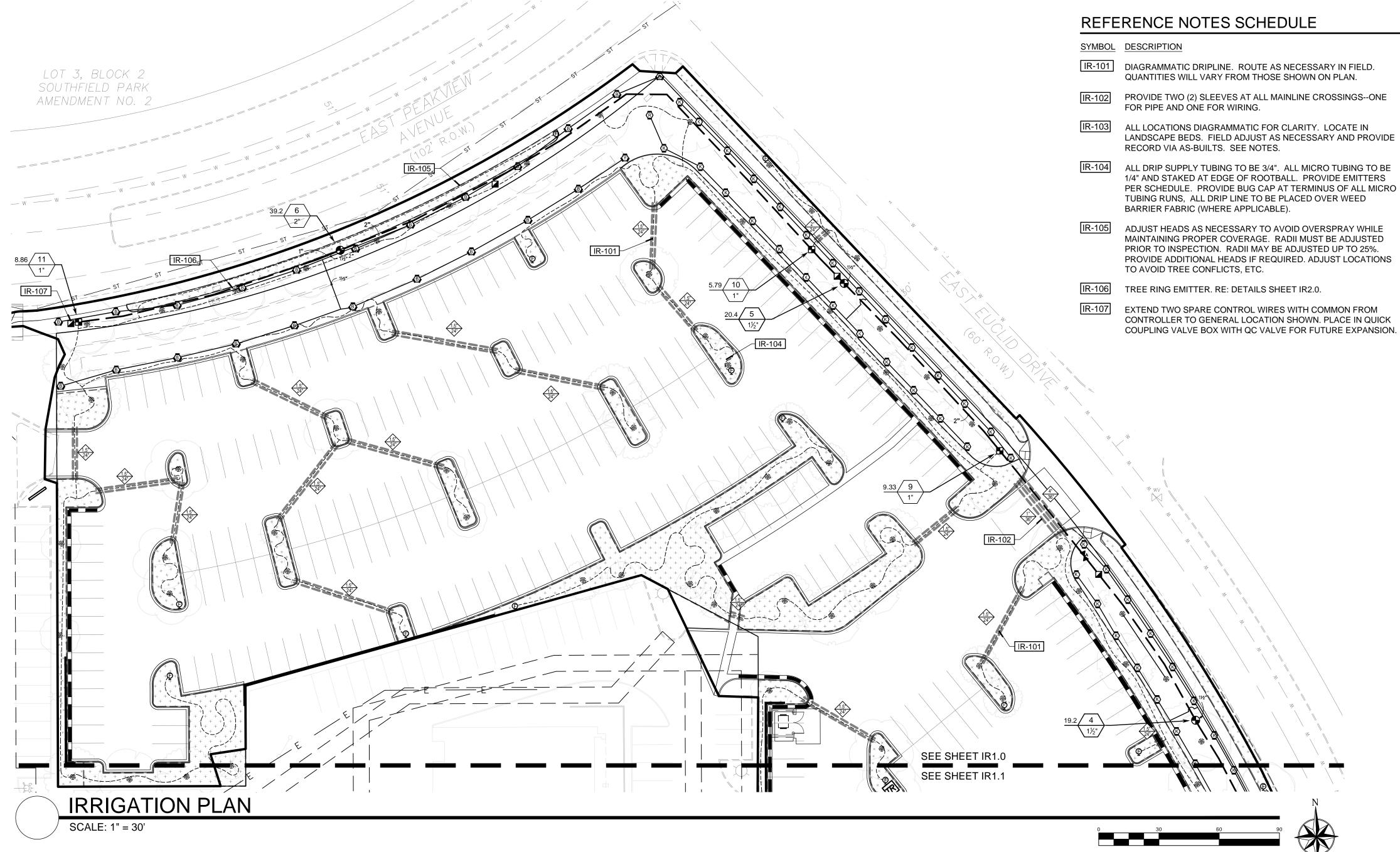
PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGREN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.F. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).

DECIDUOUS TREE PLANTING DETAIL L2.0

MIN. 2X ROOTBALL

CASE NUMBER: LU-16-00168

COLORADO AUTOFINDERS PART OF THE SW 1/4 OF SECTION _OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO SYMBOL DESCRIPTION



IRRIGATION NOTES

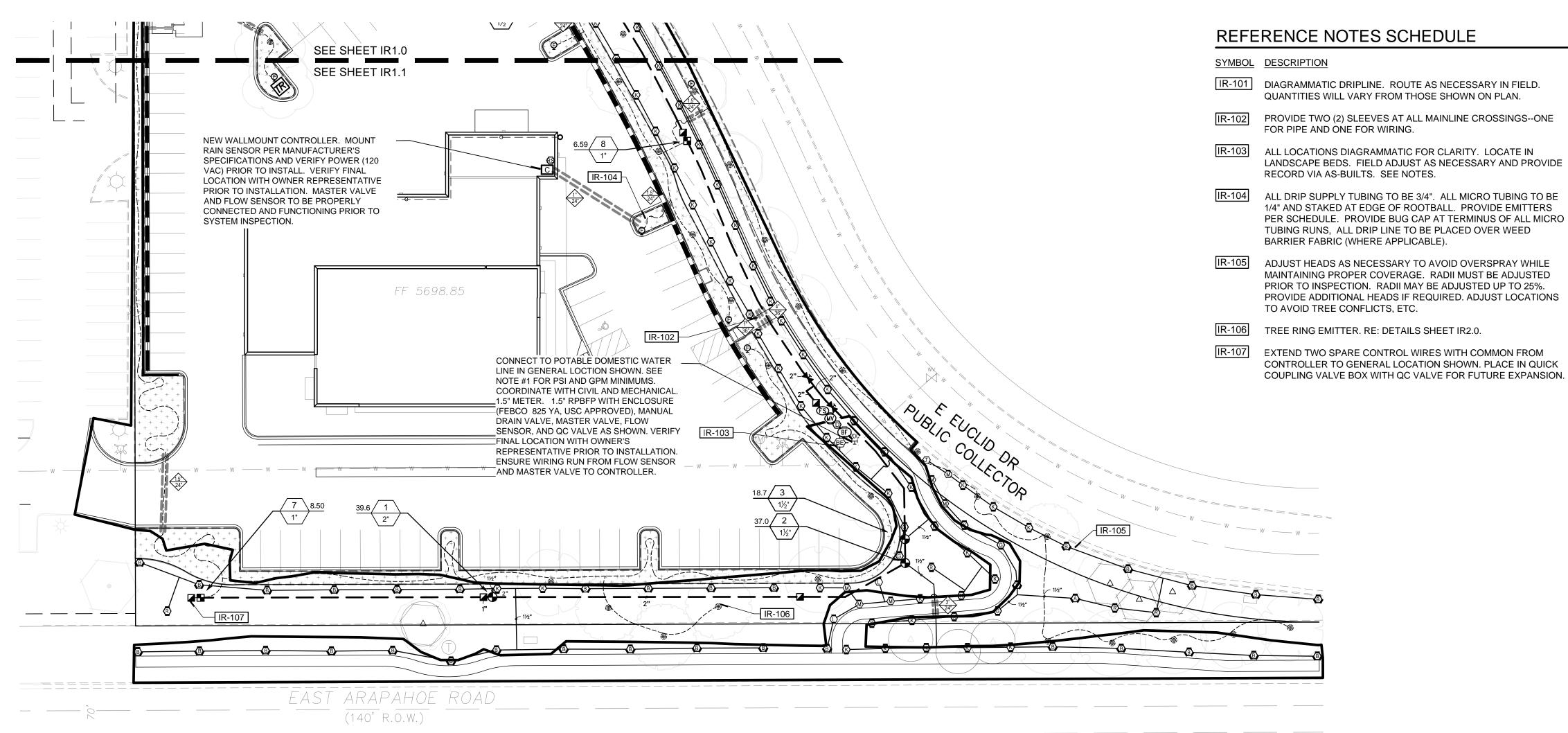
Note: QUANTITIES ARE LISTED FOR REFERENCE ONLY. CONTRACTOR TO USE GRAPHIC QUANTITIES TO DETERMINE TOTAL EQUIPMENT SCHEDULE). PROVIDE ADDITIONAL IRRIGATION LABOR & COMPONENTS TO PROVIDE HEAD TO HEAD COVERAGE IN THE FIELD FOR ALL SODDED IRRIGATION ZONES AND (90%) OF HEAD TO HEAD COVERAGE FOR SEEDED TURFGRASS AND DRIP TO ALL PLANTINGS.

- 1. THE IRRIGATION SYSTEM P.O.C. TO BE LOCATED IN THE LANDSCAPE OFF OF THE EXISTING NON-POTABLE WATER SUPPLY OR IN SEPARATE METER PIT AS SHOWN PER PLAN. CONNECT TO 1.5" POINT OF CONNECTION (w/WATTS 223-HP PRV VALVE for Meter Pits Only) AND MININMUM STATIC WATER PRESSURE OF 75 PSI. CONNECTION IS ASSUMED TO PROVIDE MINIMUM 45 GPM. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO ESTABLISH WATER CONNECTION AT LOCATION SHOWN AND ALL SLEEVING INSTALLED. NOTIFY DESIGN OF ANY DEVIATIONS IN PRESSURE OR GPM. FAILURE TO NOTIFY LANDSCAPE ARCHITECT
- WILL RESULT IN CONTRACTOR ASSUMING LIABILITY FOR ANY UNAUTHORIZED CHANGES MADE. 2. THE SYSTEM CONTROLLER IS TO BE A INTERIOR WALL MOUNT IN GENERAL LOCATION SHOWN. COORDINATE LOCATION OF CONTROLLER TO POWER SUPPLY (COORDINATE WITH OWNER), ZONE VALVE WIRES, RAIN SENSOR, AND GROUNDING. INSTALL AS PER
- MANUFACTURER'S INSTRUCTIONS. PROVIDE LIGHTNING PROTECTION FOR ALL CONTROLLERS (TYPICAL). 3. COORDINATE ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES.
- 4. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING REQUIRED TO PERFORM WORK AS SHOWN PER PLAN. SLEEVING TO BE 36" UNDERGROUND. ALL SLEEVING IS TO EXTEND 18" BEYOND EDGE OF CONCRETE OR ASPHALT.
- ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION. SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED/STAMPED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVING LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, IF NECESSARY. 5. ALL SPRINKLER HEADS SHALL BE INSTALLED WITH THE TOP OF HEADS FLUSH WITH SURROUNDING FINAL GRADE. CONTRACTOR IS TO ADJUST EACH SPRINKLER HEAD TO PROVIDE OPTIMAL COVERAGE. OVERSPRAY ONTO PAVEMENT OR WALLS IS TO BE MINIMIZED. CONTRACTOR IS TO ADJUST AND SELECT NOZZLES TO PROVIDE UNIFORM COVERAGE. PROVIDE PRESSURE COMPENSATING NOZZLES OR SCREENS IF UNIFORM PRESSURE CANNOT BE ACHIEVED BY ADJUSTING PRESSURE AT VALVES. CONTRACTOR TO REPAIR ALL IRRIGATION EROSION/GULLIES IN SEEDED AREAS FORMED BY SPRAY AND GEAR HEADS FOR THE FIRST 45 DAYS AFTER FINAL APPROVAL IS PROVIDED BY THE OWNER OR LANDSCAPE ARCHITECT
- 6. IRRIGATION PLAN IS DIAGRAMMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPING DEPTH IS TO BE 12". POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE. POLY LINE SHALL BE COMPLETELY COVERED WITH MULCH WITH NO LINE EXPOSED. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. INSTALL MAINLINE AND LATERALS AS CLOSE TO CURBS AND SIDEWALKS AS POSSIBLE TO ALLOW FOR MORE PLANTING ROOM.
- 7. CONTRACTOR IS TO INSTALL #14 UF IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES. 8. INSTALL THREE EXTRA WIRES FROM THE CONTROLLER ALONG THE MAINLINE IN EACH DIRECTION FROM THE CONTROLLER FOR TROUBLE SHOOTING AND FUTURE ADDITIONS. ADDITIONAL WIRES TO BE PLACED IN A 6" VALVE BOX FOR EASY FUTURE ACCESS.
- 9. NOTIFY LANDSCAPE ARCHTIECT OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS.
- 10. CONTRACTOR TO KEEP POP-UP SPRAY OR GEAR DRIVE HEADS A MIN. OF 5' AWAY FROM THE BUILDING OR AS NOTED BY THE SOILS ENGINEERS REPORT. THE MOST STRINGENT REQUIREMENT SHALL PREVAIL. ENSURE THAT POSITIVE DRAINAGE IS PROVIDED AND THAT NO IRRIGATION COMPONENTS NEGATIVELY IMPACT
- 11. CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY ON ALL IRRIGATION PARTS AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE AS-BUILT DRAWINGS TO OWNER ALONG WITH QUICK-COUPLER KEYS WITHIN 30 DAY OF FINAL ACCEPTANCE FROM OWNER OR LANDSCAPE ARCHITECT. 12. THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, IRRIGATION HEAD REPLACEMENT, RAIN SENSOR ADJUSTMENT, IRRIGATION CONTROLLER ADJUSTMENTS, DRIP IRRIGATION WAINTENANCE AND VERIFICATION THAT ALL LANDSCAPE AREAS ARE NOT OVER-WATERED OR UNDER-WATERED. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT THE LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE. 13. SHOULD LOCAL UTILITIES, WATER OR SPECIAL DISTRICTS DESIGNATE SPECIFIC WATER CONTROLS, IRRIGATION SCHEDULES SHALL BE ADJUSTED PURSUANT TO JURISDICTION REQUIREMENTS.
- 14. ADJUST IRRIGATION ZONE RUN TIMES WITH SEASONAL CONDITIONS. REDUCE RUN TIMES ACCORDING TO SEASONAL ADJUSTMENT SCHEDULE AND BASED ON SMART CONTROLLER ADJUSTMENTS (EXCEPT FOR NEW INSTALLATIONS DURING THE FIRST GROWING SEASON).
- 15. PROVIDE DRIP IRRIGATION TO ALL EXISTING TREES AND SHRUBS IMPACTED BY CONSTRUCTION. PROVIDE ONE-HALF THE AMOUNT OF EMITTER DEVICES THAT ARE DESIGNATED FOR NEW PLANT MATERIAL.
- 16. DRIP ZONES REQUIRE PRESSURE REGULATORS AND FILTERS WITH A MIN. 150 MESH SCREEN OR APPROVED EQUAL.
- 17. PRESSURE COMPENSATING EMITTER OR APPROVED EQUAL MAY BE USED WITH MICRO-TUBING AND INSECT CAPS TO DIRECT WATER TO AREAS THAT REQUIRE SPOT IRRIGATION. 18. LINE FLUSHING VALVES ARE TO BE LOCATED AT THE END OF EACH DRIP ZONE. INSTALL IN A 6" VALVE BOX W/ FILTER FABRIC & 4" OF CLEAN GRAVE BELOW EACH VALVE.
- 19. USE MICRO-SPRAY EMISSION DEVICES OR DRIPLINE FOR IRRIGATION OF ALL ANNUAL, AND GROUND COVER BEDS. LOCATED ON FLEXIBLE RISERS/STAKES. ADJUST SPRAY OUTPUT FOR PLANT COMMUNITY WATER INTAKE REQUIREMENTS.
- 20. NEW SOD WATER REQUIREMENTS: 1" OF WATER/DAY FOR 7 DAYS. TOTAL AMOUNT SPLIT UP OVER 4 TO 5 WATERING PERIODS. DURING WARMER PERIODS APPLY 1/4" TO 1/2" PER DAY FOR 9 DAYS. SPLIT UP OVER 1 TO 3 WATERING PERIODS/DAY. IF WATERING RESTRICTIONS ALLOW WATER 1/4"/DAY EVERY OTHER DAY FOR 7 DAYS. AFTER TURF ESTABLISHMENT TIME REFER TO SCHEDULE AND LOCAL RESTRICTIONS FOR RUN TIMES.
- 21. MOVE SPRINKLER HEADS OR TREE LOCATIONS IF SPRAY OR GEAR DRIVE HEADS ARE IN CONFLICT WITH ONE ANOTHER (I.e., within 5' of sprinkler head). 22. US HARCO SCH 40 RATED FITTINGS FOR ALL SYSTEMS. USE EPOXY DUCTILE IRON FITTINGS AND ADJUSTABLE PIPE CLAMPS FOR SYSTEMS USING OVER 80 PSI AT POINT.

				FORMA
SYMBOL	MANUFACTURER/MODI	EL/DESCRIPTION	QTY	
₩ ₺◎	VALVE, PRESSURE REC ROTATOR NOZZLE ON	S-06-CV .24 CM) POP-UP WITH CHE GULATED TO 40 PSI (2.76 E PRS40 BODY. M=MAROON T BLUE 210 TO 270 ARC, C	BAR), MP N ADJ	
K G R	INSTALLED CHECK VAL PSI (2.76 BAR), MP ROT	S-06-CV .24 CM) POP-UP WITH FAC LVE, PRESSURE REGULAT TATOR NOZZLE ON PRS40 210, G=GREEN ADJ ARC 21	ED TO 40 BODY.	
⟨B⟩⟨Y⟩⟨A ⟩	INSTALLED CHECK VAL PSI (2.76 BAR), MP ROT	6-06-CV .24 CM) POP-UP WITH FAC LVE, PRESSURE REGULAT TATOR NOZZLE ON PRS40 0, Y=YELLOW ADJ ARC 21	ED TO 40 BODY.	
SYMBOL	MANUFACTURER/MODI	EL/DESCRIPTION	QTY	
	RAIN BIRD XCZ-100-PRI MEDIUM FLOW DRIP CO PRESSURE REGULATIN	F DNTROL KIT, 1" DV VALVE, NG FILTER, 40PSI PRESSU 5GPM. USE LOW FLOW MO	5 1" RE	
Φ	FLUSH VALVE 3/4" PVC BALL VALVE IN	N 10" VALVE BOX.	15	
⊕	TREE RING EMITTERS PROVIDE DRIP TREE R IR2.0.	ING EMITTER PER DETAIL:	90 S SHEET	
+ + + + + + + + + + + + + + + + + + + +	EMITTERS. FLOW RATI 1.0GPH=BLACK, AND 2. SELF-PIERCING BARB I Emitter Notes: Perennials to receive one Grasses to receive one of Shrubs to receive two of	SURE COMPENSATING DRES OF 0.5GPH=BLUE, 0GPH=RED. COMES WITH NLET X BARB OUTLET. of 0.5 GPH emitters f 1.0 GPH emitters	I A	S.F.
CVMDOL				
<u>SYMBOL</u>		IDUSTRIAL VALVES. LOW Y, GLOBE CONFIGURATIO		
	RAIN BIRD 5-LRC 1" BRASS QUICK-COUP CORROSION-RESISTAN			
*		ATE SHUT OFF VALVE WITI S MAINLINE PIPE DIAMETE E RANGE - 1/4" - 3"		
₩V)		IDUSTRIAL VALVES. LOW 'Y, GLOBE CONFIGURATIO		
(ACCESS SLEEVE, AND RIVER ROCK SUMP FOI SCH 40 PVC 90 ELL ANI	OX WITH 2" VALVE MARKE MINIMUM 6" DEPTH 3/4" W R DRAINAGE. PROVIDE 3/ D 3/4" X 4" SCH 80 PVC NIP USE TEFLON TAPE ON AL ND ALL NIPPLES	/ASHED 4" MXF PPLE TO	
BF	FEBCO 825YA 1-1/2" REDUCED PRESSURE I	BACKFLOW PREVENTER	1	
C	16 STATION COMMERC	WITH (02) ESPLXMSM4 SIAL CONTROLLER. MOUN . FLOW SENSING AND WA LITIES.		
€	RAIN BIRD WR2-RC WIRELESS RAIN SENSO AND 1 RAIN SENSOR T	OR COMBO, INCLUDES 1 R RANSMITTER.	1 RECEIVER	
FS	SITECONTROL, AND ES SYSTEMS. PLASTIC (P' OPERATING RANGE OF	OR USE WITH RAIN BIRD M SP-LXD CENTRAL CONTRO VC) MODEL. SUGGESTED F 5.0 GPM TO 100.0 GPM. S R FLOW RATHER THAN PIP	ENSORS	
	INSTALL PER MANUFAC	CAGE, WITH EP-1 AND FG- CTURER REQUIREMENTS A DWARE PRIOR TO TURNON	AND	
POC '보'	POINT OF CONNECTION CONNECT TO POTABLE WITH CIVIL/MECHANIC/	DOMESTIC LINE. COORE	1 DINATE	
	PVC CLASS 315 FOR 1/2 PIPE, PVC CLASS 160 S LATERAL TRANSITION I	LINE: PVC CLASS 160 SDR 2" PIPE, PVC CLASS 200 FC SDR 26 FOR 1" AND ABOVE PIPE SIZES 1 1/4" AND ABO AN, WITH ALL OTHERS BEI	OR 3/4" :. ONLY DVE ARE	F.
	IRRIGATION MAINLINE: PVC CLASS 200 IRRIGA	PVC CLASS 200 SDR 21 TION PIPE.	1,378 L.I	F.
======	PIPE SLEEVE: PVC SCH SEE NOTES AND SPEC			F.
,	Valve Callout	\longleftrightarrow	EEVE SIZE EEVE DEPTH	
# • # •	Valve Flow	Provide seperate 1" wir		

SEE SHEET June 20, 2016

PART OF THE SW 1/4 OF SECTION _OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



IRRIGATION PLAN

CRITICAL ANALYSIS

SCALE: 1" = 30'

2016-09-22 08:04 Generated: P.O.C. NUMBER: 01 CONNECT TO POTABLE DOMESTIC LINE. Water Source Information: COORDINATE WITH CIVIL/MECHANICAL.

1-1/2" Point of Connection Size: Flow Available: 47.66 gpm

PRESSURE AVAILABLE 75.00 psi Static Pressure at POC: Pressure Available: 75.00 psi

FLOW AVAILABLE

DESIGN ANALYSIS 39.59 gpm Maximum Station Flow: Flow Available at POC: 47.66 gpm Residual Flow Available: 8.07 gpm Pressure Req. at Critical Station: 46.17 psi

Loss for Fittings: 0.75 psi Loss for Main Line: 7.53 psi Loss for POC to Valve Elevation: 2.60 psi Loss for Backflow: 11.78 psi Loss for Master Valve: 3.51 psi Critical Station Pressure at POC: 72.38 psi Pressure Available: 75.00 psi Residual Pressure Available:

> CONFIRM MINIMUM PRESSURE OF 75 PSI PRIOR TO COMMENCING WORK

Brand all appropriate box lids with 1" minimum letters with the following

abbreviations: QC Quick Coupler GV Gate Valve

SV# Section Valve & Corresponding Controller Station # MCV Master Control Valve

FS Flow Sensor FP Drip Flush Point

A SEASONAL MAINTENANCE SCHEDULE SHALL BE PERFORMED ON THE IRRIGATION SYSTEMS AND

SHALL CONSIST OF THE FOLLOWING ITEMS: CHECK HEADS FOR COVERAGE AND LEAKAGE

 REPLACE ALL BROKEN HEADS RE-PROGRAM CONTROLLERS MONTHLY OR MORE OFTEN IF NECESSARY ACCORDING TO THE SEASONAL NEEDS

VERIFY THAT THE WATER SUPPLY AND

PRESSURE ARE AS STATED IN THE DESIGN INSPECT THE BACKFLOW PREVENTION DEVICE TO DETERMINE IF IT IS WORKING CORRECTLY PERIODICALLY VERIFY THAT SENSORS IN THE IRRIGATION SYSTEM ARE WORKING PROPERLY

 CHECK VALVES TO MAKE SURE THEY ARE FUNCTIONING PROPERLY CHECK HEADS AND EMITTERS FOR DEBRIS ENSURE DRIP EMITTERS ARE NOT BROKEN OR

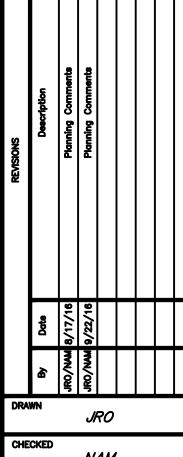
 ADJUST COMPONENTS AS NECESSARY OR AS PLANT GROWTH DICTATES

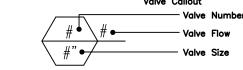
Month	Seasonal Adjustment Factor
April	60%
May	75%
June	90%
July	100%
August	90%
September	60%
October	50%

VALVE SCHEDULE							
NUMBER	MODEL	SIZE	TYPE	PSI	PSI @ POC	GPM	PRECIP
1	RAIN BIRD PEB-PRS-D	2"	TURF ROTARY	46.24	64.84	39.59	0.36 in/h
2	RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	46.26	63.59	36.98	0.42 in/h
3	RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	44.55	60.19	18.72	0.36 in/h
4	RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	44.58	60.56	19.21	0.37 in/h
5	RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	44.94	61.87	20.40	0.34 in/h
6	RAIN BIRD PEB-PRS-D	2"	TURF ROTARY	46.17	69.74	39.20	0.35 in/h
7	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	27.49	43.98	8.50	0.20 in/h
8	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	26.08	41.04	6.59	0.20 in/h
9	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	29.54	44.72	9.33	0.14 in/h
10	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	24.92	39.98	5.79	0.19 in/h
11	RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	28.48	45.46	8.86	0.17 in/h

							•	HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"	
							(MV)	RAIN BIRD PEB-PRS-D 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	1
		0		30	60	90	(D)	MANUAL DRAIN VALVE PROVIDE 10" ROUND BOX WITH 2" VALVE MARKER, PVC ACCESS SLEEVE, AND MINIMUM 6" DEPTH 3/4" WASHED RIVER ROCK SUMP FOR DRAINAGE. PROVIDE 3/4" MXF SCH 40 PVC 90 ELL AND 3/4" X 4" SCH 80 PVC NIPPLE TO SUMP FOR DRAINAGE. USE TEFLON TAPE ON ALL MALE THREADED PVC AND AND ALL NIPPLES	1
							BF	FEBCO 825YA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1
							С	RAIN BIRD ESP8LXMEF WITH (02) ESPLXMSM4 16 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT. FLOW SENSING AND WATER MANAGEMENT CAPABILITIES.	1
MODEL	SIZE	TYPE	PSI	PSI @ POC	GPM	PRECIP	€	RAIN BIRD WR2-RC WIRELESS RAIN SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN SENSOR TRANSMITTER.	1
RAIN BIRD PEB-PRS-D	2"	TURF ROTARY	46.24	64.84	39.59	0.36 in/h	(S)	RAIN BIRD FS-150-P 1-1/2" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM,	1
RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	46.26		36.98	0.42 in/h		SITECONTROL, AND ESP-LXD CENTRAL CONTROL SYSTEMS. PLASTIC (PVC) MODEL. SUGGESTED	
RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	44.55	60.19	18.72	0.36 in/h		OPERATING RANGE OF 5.0 GPM TO 100.0 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	
RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	44.58	60.56	19.21	0.37 in/h	-(BE)-	GUARDSHACK EC-2 GUARDSHACK ECONOCAGE, WITH EP-1 AND FG-1.	1
RAIN BIRD PEB-PRS-D	1-1/2"	TURF ROTARY	44.94	61.87	20.40	0.34 in/h	₩	INSTALL PER MANUFACTURER REQUIREMENTS AND VERIFY LOCKING HARDWARE PRIOR TO TURNOVER.	
RAIN BIRD PEB-PRS-D	2"	TURF ROTARY	46.17	69.74	39.20	0.35 in/h	POC	POINT OF CONNECTION 1-1/2"	1
RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	27.49	43.98	8.50	0.20 in/h	보	CONNECT TO POTABLE DOMESTIC LINE. COORDINATE WITH CIVIL/MECHANICAL.	
RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	26.08	41.04	6.59	0.20 in/h		IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 PVC CLASS 315 FOR 1/2" PIPE, PVC CLASS 200 FOR 3/4"	3,447 L
RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	29.54	44.72	9.33	0.14 in/h		PIPE, PVC CLASS 160 SDR 26 FOR 1" AND ABOVE. ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE	
RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	24.92	39.98	5.79	0.19 in/h		INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	
RAIN BIRD XCZ-100-PRF	1"	AREA FOR DRIP EMITTERS	28.48	45.46	8.86	0.17 in/h		IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.	1,378 L
							======	PIPE SLEEVE: PVC SCHEDULE 40 SEE NOTES AND SPECIFICATIONS FOR DEPTHS. EXTEND MIN 18" BEYOND EDGE OF PAVEMENT AND MARK IN FIELD.	753.7 l

YMBOL	MANUFACTURER/M	ODEL/DESCRIPTION		<u>QTY</u>	<u>PSI</u>
₩ ₺	VALVE, PRESSURE ROTATOR NOZZLE (OS-06-CV (15.24 CM) POP-UP WITH CHE REGULATED TO 40 PSI (2.76 DN PRS40 BODY. M=MAROOI GHT BLUE 210 TO 270 ARC, C	BAR), MP N ADJ	5	40
<u>k</u> ©R	INSTALLED CHECK ' PSI (2.76 BAR), MP R	OS-06-CV (15.24 CM) POP-UP WITH FAC VALVE, PRESSURE REGULAT OTATOR NOZZLE ON PRS40 00-210, G=GREEN ADJ ARC 2	ED TO 40 BODY.	95	40
B √Y A	INSTALLED CHECK ' PSI (2.76 BAR), MP R	20S-06-CV (15.24 CM) POP-UP WITH FAC VALVE, PRESSURE REGULAT ROTATOR NOZZLE ON PRS40 0-210, Y=YELLOW ADJ ARC 21	ED TO 40 BODY.	57	40
SYMBOL	MANUFACTURER/MO	ODEL/DESCRIPTION		QTY	
	PRESSURE REGULA	P CONTROL KIT, 1" DV VALVE KTING FILTER, 40PSI PRESSU I - 15GPM. USE LOW FLOW M	RE	5	
Ф	FLUSH VALVE 3/4" PVC BALL VALV	E IN 10" VALVE BOX.		15	
•		RS E RING EMITTER PER DETAIL	S SHEET	90	
	IR2.0. AREA TO RECEIVE I	ORIP EMITTERS			
	RAIN BIRD XB-PC SINGLE OUTLET, PR EMITTERS. FLOW R 1.0GPH=BLACK, AND SELF-PIERCING BAF Emitter Notes: Perennials to receive Grasses to receive on Shrubs to receive two	RESSURE COMPENSATING DI ATES OF 0.5GPH=BLUE, 0 2.0GPH=RED. COMES WITH RB INLET X BARB OUTLET. one of 0.5 GPH emitters e of 1.0 GPH emitters	I A	27,307 S.F	
<u>SYMBOL</u>	MANUFACTURER/M	ODEL/DESCRIPTION		QTY	
•		CINDUSTRIAL VALVES. LOW ILITY, GLOBE CONFIGURATION		6	
	CORROSION-RESIST	OUPLING VALVE, WITH TANT STAINLESS STEEL SPR PLASTIC RUBBER COVER, AN		9	
X	HANDLE, SAME SIZE	GATE SHUT OFF VALVE WIT E AS MAINLINE PIPE DIAMETE SIZE RANGE - 1/4" - 3"		3	
(MV)		CINDUSTRIAL VALVES. LOW ILITY, GLOBE CONFIGURATION		1	
()	ACCESS SLEEVE, A RIVER ROCK SUMP SCH 40 PVC 90 ELL	D BOX WITH 2" VALVE MARKE ND MINIMUM 6" DEPTH 3/4" W FOR DRAINAGE. PROVIDE 3/ AND 3/4" X 4" SCH 80 PVC NIF GE. USE TEFLON TAPE ON A	/ASHED /4" MXF PPLE TO	1	
(BF)	FEBCO 825YA 1-1/2" REDUCED PRESSUF	RE BACKFLOW PREVENTER		1	
C	16 STATION COMME	MEF WITH (02) ESPLXMSM4 PRCIAL CONTROLLER. MOUN NT. FLOW SENSING AND WA ABILITIES.		1	
€	RAIN BIRD WR2-RC WIRELESS RAIN SEI AND 1 RAIN SENSOI	NSOR COMBO, INCLUDES 1 F R TRANSMITTER.	RECEIVER	1	
FS)	SITECONTROL, AND SYSTEMS. PLASTIC OPERATING RANGE	R FOR USE WITH RAIN BIRD I ESP-LXD CENTRAL CONTRO (PVC) MODEL. SUGGESTED OF 5.0 GPM TO 100.0 GPM. S FOR FLOW RATHER THAN PIF	OL SENSORS	1	
-\BE	INSTALL PER MANU	NOCAGE, WITH EP-1 AND FG FACTURER REQUIREMENTS ARDWARE PRIOR TO TURNO	AND	1	
POC 」	POINT OF CONNECT CONNECT TO POTA WITH CIVIL/MECHAN	BLE DOMESTIC LINE. COORI	DINATE	1	
	PVC CLASS 315 FOR PIPE, PVC CLASS 16 LATERAL TRANSITION	AL LINE: PVC CLASS 160 SDR R 1/2" PIPE, PVC CLASS 200 F 60 SDR 26 FOR 1" AND ABOVE DN PIPE SIZES 1 1/4" AND ABO PLAN, WITH ALL OTHERS BE	OR 3/4" E. ONLY OVE ARE	3,447 L.F.	
	IRRIGATION MAINLII PVC CLASS 200 IRR	NE: PVC CLASS 200 SDR 21 IGATION PIPE.		1,378 L.F.	
======		SCHEDULE 40 ECIFICATIONS FOR DEPTHS GE OF PAVEMENT AND MAR		753.7 L.F.	
/	Valve Callout Valve Number	\longleftrightarrow	SLEEVE SI SLEEVE DI		
#"• # •	Valve Flow Valve Size	Provide seperate 1" w	ire sleeve	along all	
\ II /		all mainline crossings	Ot equal is	⊇nath	

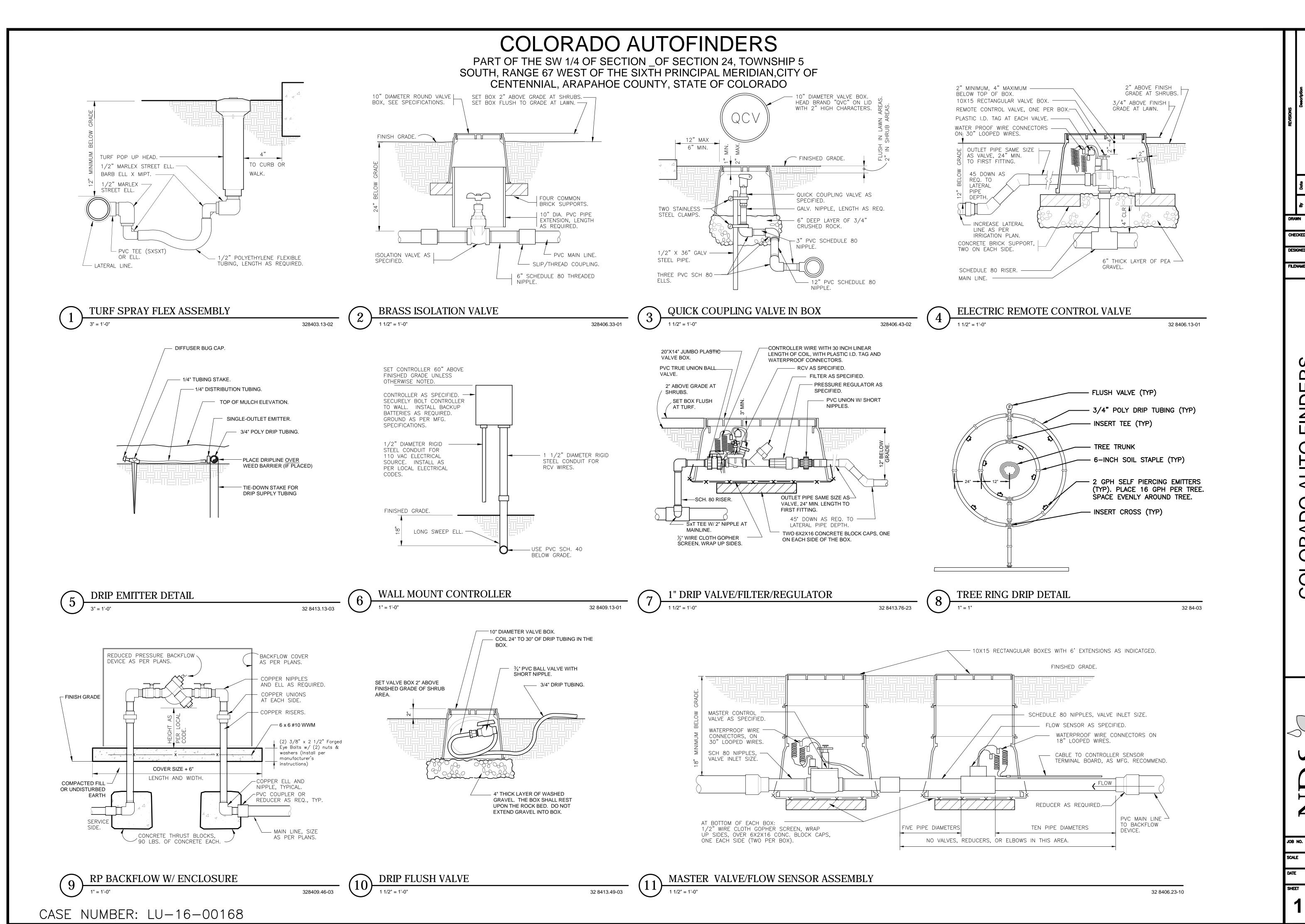




Provide seperate 1" wire sleeve along all all mainline crossings, of equal length to pipe sleeve

SEE SHEET June 20, 2016

CASE NUMBER: LU-16-00168



SEE SHEET

June 20, 2016

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